



TOWN COUNCIL AGENDA

October 8, 2018 - 7:00 P.M.

WINTERVILLE TOWN HALL ASSEMBLY ROOM

- I. **CALL TO ORDER.**
- II. **INVOCATION.**
- III. **PLEDGE OF ALLEGIANCE.**
- IV. **WELCOME.**
- V. **APPROVAL OF AGENDA.**
- VI. **RECOGNITION OF EMPLOYEES:**
 1. Mike Brown, Building Inspector/Code Enforcement Officer.
 2. Alexander Alves, Paramedic.
- VII. **PUBLIC HEARINGS:**
 1. Annexation - Mellon Downs, Ph. 2A and 2B: Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, and 85.
 2. Aces for Autism Property (Parcel #14643) Rezoning.
- VIII. **PUBLIC COMMENT:** *The Public Comment period of thirty minutes provides an opportunity for residents to comment on any item included in the agenda or to address the Town Council on any other matter related to the Town of Winterville. For an item included in the Public Hearing section of the agenda, residents should address the Council at the time the Mayor invites public comment on the item. No public comment may be made to the Council during the meeting, except during the Public Comment period or as part of a Public Hearing. Individual speakers are limited to a maximum of three minutes, and no more than three speakers may address the Council on a single matter. The Town Council may elect to take no action on the matter addressed by a speaker, may schedule the matter for further consideration at a future Council meeting, or may refer the matter to Town staff for disposition. Copies of the Town Public Comment Policy are available in the rear of the Assembly Room.*
- IX. **CONSENT AGENDA:** *The following items are considered routine in nature and will not be discussed by the Town Council unless a Councilman or citizen requests that an item be removed from the Consent Agenda for further discussion. The Mayor may allow citizens to address an item or ask questions.*
 1. Approval of the following sets of Council Meeting Minutes:
 - ✓ April 9, 2018 Regular Meeting Minutes.
 - ✓ April 30, 2018 Budget Progress Meeting – FY 2018-2019 Fiscal Year Budget.
 - ✓ June 11, 2018 Regular Meeting Minutes.
 - ✓ August 13, 2018 Regular Meeting Minutes.

X. OLD BUSINESS:

1. Engineering Services for 2018 Sanitary Sewer Rehabilitation Project.
2. Purchase of Vac-Con V311E/1300LHAQDA Titan Model Sewer Truck from the NC Sheriffs' Association.

XI. NEW BUSINESS:

1. Request from Bill Clark Homes for Roll Curb instead of Standard Curb in the Eli's Ridge Subdivision.

XII. OTHER AGENDA ITEMS.

XIII. ITEMS FOR FUTURE AGENDAS/FUTURE WORK SESSIONS.

XIV. REPORTS FROM DEPARTMENT HEADS:

Update on Projects Currently Underway:	Regional Sewer Pump Station Project Chapman Street Culvert - Nobel Canal Drainage Basin Study 2018 SRF Application (Sewer Rehabilitation) NTE Plant Construction Project Minimum Housing/Code Enforcement Horizon Land Use Plan Multi-Purpose Building Site Plan Winterville Market/Town Common Plan Resurfacing of the Hillcrest Basketball Courts Fork Swamp Greenway Project
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XV. REPORTS FROM THE TOWN ATTORNEY, MAYOR AND TOWN COUNCIL, AND TOWN MANAGER.

XVI. ANNOUNCEMENTS:

1. Planning and Zoning Board Meeting – October 15, 2018 – 7 pm – Town Hall Assembly Room.
2. Board of Adjustment Meeting – October 16, 2018 – 7 pm – Town Hall Assembly Room.

XVIII. ADJOURN.

SPECIAL NOTICE: *Anyone who needs an interpreter or special accommodations to participate in the meeting should notify the Town Clerk, Don Harvey at 215-2344 at least forty-eight (48) hours prior to the meeting. (Americans with Disabilities Act (ADA) 1991.)*



**Town of Winterville
Town Council
Agenda Abstract**

Item Section: Public Hearings

Meeting Date: September 10, 2018

Presenter: Bryan Jones, Planning Director

Item to be Considered

Subject: Mellon Downs, Ph 2A and 2B: Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, and 85.

Action Requested: Hold Public Hearing and Approve on the Annexation.

Attachments: Annexation Map, Petitions and Metes and Bounds, Notice of Public Hearing, Addresses of Adjacent Property Owners.

Prepared By: Bryan Jones, Planning Director

Date: 9/27/2018

ABSTRACT ROUTING:

TC

FD

TM 10/2/2018

Final 10/2/2018

Supporting Documentation

The property owners of Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, and 85 in Mellon Downs, Phases 2A and 2B are applying for annexation into the Town limits.

Mellon Downs, Phases 2A and 2B:

Location: Oakwood Drive and Mockingbird Lane

Size: 16 Lots.

Zoned: R-12.5

Annexation Process:

1st Council Meeting: Direct Town Clerk to Investigate the Sufficiency of the Annexation.

2nd Council Meeting: Schedule a Public Hearing for the Annexation.

3rd Council Meeting: Hold Public Hearing on the Annexation.

- ❖ Petitioners and adjacent property owners within 100' were mailed notification on Sept. 26, 2018.
- ❖ Public Notice published in the Daily Reflector on 9/26/18 and 10/3/18.

Budgetary Impact: TBD.

Recommendation: Approve Annexation with an Effective Date of October 31, 2018.

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82646

LOT 19

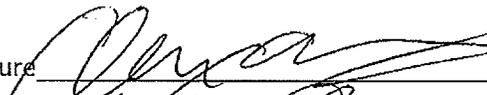
Address: 2842 Mockingbird Lane, Winterville, NC 28590

Mellon Downs Phase II-A

Map Book: 79 Page: 47-48

Name Alexander Jerome & Jennifer Felts Alves

Address 2842 Mockingbird Lane, Winterville, NC 28590

Signature  _____

Signature  _____

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82648

LOT 21

Address: 2845 Mockingbird Lane, Winterville, NC 28590

Mellon Downs Phase II-A

Map Book: 79 Page: 47-48

Name Matthew Ryan & Nicole Iriate Carrowan

Address 2845 Mockingbird Lane, Winterville, NC 28590

Signature



Signature



Secretary.C2.LAM.TownofWinterville.PetitionforAnnexation.5.18.17

PETITION REQUESTING ANNEXATION

Date: 08/03/17

RECEIVED
AUG - 7 2017
PARKER

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82652

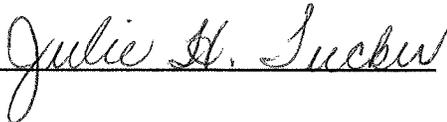
LOT 25

Address: 2823 Mockingbird Lane, Winterville, NC 28590

Mellon Downs Phase II-A

Map Book: 79 Page: 47-48

Name Julie H. Tucker Address 2823 Mockingbird Lane, Winterville, NC 28590

Signature 

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82877

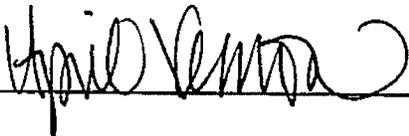
LOT 40

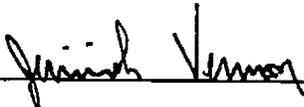
Address: 2981 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name April Stephanie & Jerimiah Vernon Address 2981 Oakwood Drive, Winterville, NC 28590

Signature 

Signature 

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82878

LOT 41

Address: 2973 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name Dytanyain Lamb Address 2973 Oakwood Drive, Winterville, NC 28590

Signature 

PETITION REQUESTING ANNEXATION

Date: 12-6-17

To the Mayor and Town Council of the Town Of Winterville:

- 1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
- 2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82882

LOT 45

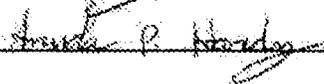
Address: 2953 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name: Eric R. & Amanda P. Hardy Address: 2953 Oakwood Drive, Winterville, NC 28590

Signature: 

Signature: 

Secretary: CLM, Town of Winterville, Petition for Annexation 5.18.17

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82884

LOT 47

Address: 2943 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Nichole

Name Keith Andrew & ~~Nicole~~ Neal Richards Address 2943 Oakwood Drive, Winterville, NC 28590

Signature *Keith Richards*

Signature *Nichole Richards*

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82887

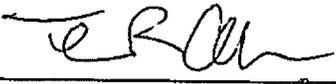
LOT 49

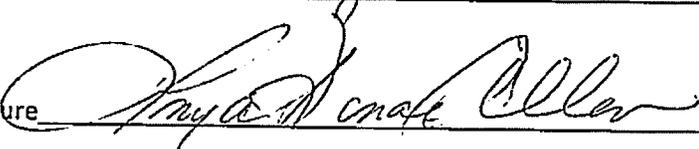
Address: 2927 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name Thomas Robert & Tonya Denae Allen Address 2927 Oakwood Drive, Winterville, NC 28590

Signature 

Signature 

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82888

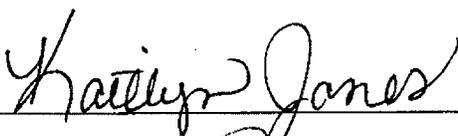
LOT 50

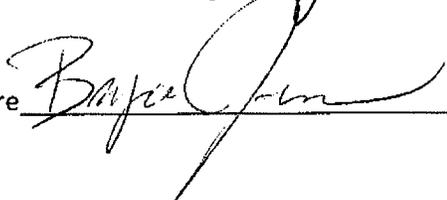
Address: 2919 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name Kaitlyn & Bryce Jones Address 2919 Oakwood Drive, Winterville, NC 28590

Signature 

Signature 

PETITION REQUESTING ANNEXATION

Date: 8-2-17

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82890

LOT 52

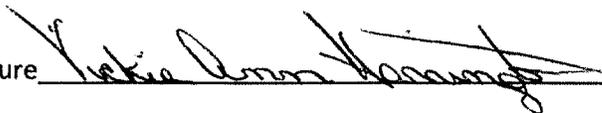
Address: 2909 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name Vickie Ann Harrington Address 2909 Oakwood Drive, Winterville, NC 28590

Signature



PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.

2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82895

LOT 57

Address: 2873 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name Javon Llewellyn & Darnesha Shavonne King Brunsey

Address 2873 Oakwood Drive, Winterville, NC 28590

Signature _____

Signature _____

Secretary.C2.LAM.TownofWinterville.PetitionforAnnexation.5.18.17

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82897

LOT 73

Address: 2984 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

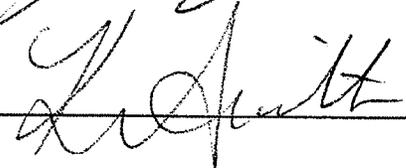
Name Gerret Edward & Kimberly Renae Smith

Address 2984 Oakwood Drive, Winterville, NC 28590

Signature _____



Signature _____



PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82898

LOT 74

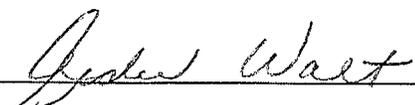
Address: 2978 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name Charles Edward IV & Arden Walt Address 2978 Oakwood Drive, Winterville, NC 28590

Signature 

Signature 

Secretary.C2.LAM.TownofWinterville.PetitionforAnnexation.5.18.17

PETITION REQUESTING ANNEXATION

Date: 8/3/17

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82899

LOT 75

Address: 2970 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name John Douglas Collins & Ginny Lynn Gilmore

Address 2970 Oakwood Drive, Winterville, NC 28590

Signature John D. Collins

Signature Ginny Lynn Gilmore

Secretary.C2.LAM.TownofWinterville.PetitionforAnnexation.5.18.17

PETITION REQUESTING ANNEXATION

Date:

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82907

LOT 83

Address: 2892 Oakwood Drive, Winterville, NC 28590

Mellon Downs Phase II-B

Map Book: 79 Page: 130

Name Ryan William & Jennifer Marie Zimmerman

Address 2892 Oakwood Drive, Winterville, NC 28590

Signature _____

Signature _____

Secretary.C2.LAM.TownofWinterville.PetitionforAnnexation.5.18.17

PETITION REQUESTING ANNEXATION

Date: 08-07-17

To the Mayor and Town Council of the Town Of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in paragraph 2 below be annexed to the Town of Winterville.
2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

Parcel: 82909

LOT 85

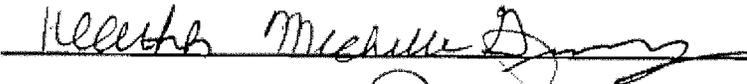
Address: 2876 Oakwood Drive, Winterville, NC 28590

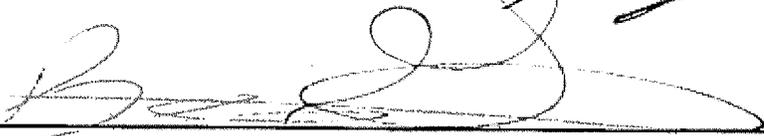
Mellon Downs Phase II-B

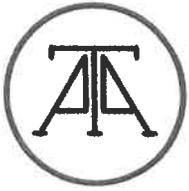
Map Book: 79 Page: 130

Name Heather Michelle & Brian Robert Greisiger

Address 2876 Oakwood Drive, Winterville, NC 28590

Signature  _____

Signature  _____



PARKER & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS
JACKSONVILLE, NORTH CAROLINA

ANNEXATION DESCRIPTION
August 1, 2018

Town of Winterville
Mellon Downs
Winterville Township, Pitt County, NC

A certain tract of land in the Mellon Downs Subdivision, Phase II-A and II-B, on Mockingbird Lane and Oakwood Drive and being more particularly described as follows:

Beginning at an iron stake found on the Eastern Right-of-Way Line of Mockingbird Lane, 60 foot Right-of-Way, said iron being the Northwest corner of Lot 26 Mellon Downs, Phase II-A, as recorded in Map Book 79, Page 47; **THENCE** from said point of beginning and with said Right-of-Way Line, South 09 degs. 51 min. 19 sec. West, 13.58 feet to a point; thence along the arc of a curve having a radius of 360.0 feet and curving to the right, 66.08 feet, (chord South 14 degs. 46 min. 37 sec. West, 65.99 feet) to a point; thence leaving said Right-of-Way Line and along the Northern line of Lot 25, South 69 degs. 10 min. 08 sec. East, 189.79 feet to an iron stake set; thence South 69 degs. 41 min. 14 sec. East, 54.82 feet to a point; thence South 42 degs. 39 min. 13 sec. West, 141.27 feet to a point; thence North 54 degs. 34 min. 18 sec. West, 206.34 feet to a point on the Eastern Right-of-Way Line of Mockingbird Lane; thence with said line and along the arc of a curve having a radius of 360.0 feet and curving to the right, 98.04 feet, (chord South 40 degs. 26 min. 17 sec. West, 97.74 feet) to a point; thence South 48 degs. 14 min. 20 sec. West, 142.02 feet to a point; thence leaving said Right-of-Way Line and along the Northern line of Lot 21, South 41 degs. 43 min. 56 sec. East, 189.53 feet to a point; thence North 50 degs. 14 min. 22 sec. East, 114.20 feet to a point; thence South 40 degs. 10 min. 27 sec. East, 151.08 feet to a point on the Northern Right-of-Way Line of Oakwood Drive; thence with said line, North 49 degs. 45 min. 41 sec. East, 83.76 feet to an iron stake found; thence crossing Oakwood Drive, South 40 degs. 14 min. 01 sec. East, 59.97 feet to an iron stake found on the Southern Right-of-way Line of Oakwood Drive; thence with said line, South 49 degs. 39 min. 40 sec. West, 35.21 feet to a point; thence leaving said line and along the Northern line of Lot 73, South 40 degs. 10 min. 27 sec. East, 181.54 feet to a point; thence South 34 degs. 23 min. 16 sec. West, 79.58 feet to a point; thence South 65 degs. 53 min. 15 sec. East, 187.66 feet to a point on the Western Right-of-Way Line of Oakwood Drive; thence with said line, North 24 degs. 06 min. 45 sec. East, 80.0 feet to a point; thence leaving said line and with the Northern line of Lot 84, North 65 degs. 53 min. 15 sec. West, 173.15 feet to a point; thence North 34 degs. 23 min. 16 sec. East, 81.98 feet to an iron stake found; thence South 65 degs. 38 min. 51 sec. East, 158.53 feet to a point on the Western Right-of-Way Line of Oakwood Drive; thence with said line, North 24 degs. 04 min. 22 sec. East, 83.58 feet to an iron stake found, thence crossing Oakwood Drive, South 65 degs. 53 min. 09 sec. East, 60.06 feet to an iron stake found on the Eastern Right-of-Way Line of Oakwood Drive and being the Northwest corner of Lot 57; thence leaving said Right-of-Way Line and along the Northern line of Lot 57, South 65 degs. 52 min. 52 sec. East, 160.17 feet to an iron stake found; thence South 24 degs. 20 min. 52 sec. West 95.04 feet to a point on the Northern Right-of-Way Line of Sparrow Lane; thence with said line, North 65 degs. 53 min. 15 sec. West, 139.78 feet to a point; thence along the arc of a curve having a radius of 20.0 feet and curving to the right, 31.42 feet, (chord North 20 degs. 53 min. 15 sec. West,

28.28 feet) to a point on the Eastern Right-of-Way Line of Oakwood Drive; thence with said line South 24 degs. 06 min. 45 sec. West, 338.41 feet to a point; thence along the arc of a curve having a radius of 175.0 feet and curving to the right, 67.88 feet, (chord South 35 degs. 13 min. 25 sec. West, 67.45 feet) to a point; thence leaving said Right-of-Way Line and along the Northern line of Lot 52, South 43 degs. 39 min. 54 sec. East, 186.99 feet to a point, thence South 24 degs. 03 min. 52 sec. West, 80.20 feet to an iron stake found; thence North 89 degs. 59 min. 06 sec. West, 94.02 feet to a point; thence North 20 degs. 11 min. 26 sec. West, 182.0 feet to a point on the Southern Right-of-Way Line of Oakwood Drive, thence with said Line and along the arc of a curve having a radius of 175.0 feet and curving to the right, 61.77 feet, (chord South 79 degs. 55 min. 18 sec. West, 61.45 feet) to a point; thence North 89 degs. 57 min. 53 sec. West, 14.43 feet to a point; thence leaving said Right-of-Way Line and along the Eastern line of Lot 50, South 00 degs. 02 min. 07 sec. West, 160.04 feet to a point; thence North 89 degs. 59 min. 06 sec. West, 160.0 feet to a point; thence North 00 degs. 02 min. 07 sec. East, 160.09 feet to a point on the Southern Right-of-Way Line of Oakwood Drive; thence with said line, North 89 degs. 57 min. 53 sec. West, 15.45 feet to a point; thence along the arc of a curve having a radius of 180.0 feet and curving to the right, 154.18 feet, (chord North 65 degs. 25 min. 37 sec. West, 149.51 feet) to a point; thence leaving said Right-of-Way Line and along the Southern line of Lot 47, South 42 degs. 30 min. 25 sec. West, 252.73 feet to a point; thence North 08 degs. 06 min. 48 sec. West, 191.88 feet to a point, thence North 71 degs. 07 min. 24 sec. East, 172.90 feet to a point on the Western Right-of-Way Line of Oakwood Drive; thence with said line, and along the arc of a curve having a radius of 180.0 feet and curving to the right, 59.41 feet, (chord North 09 degs. 25 min. 14 sec. West, 59.14 feet) to a point; thence North 00 degs. 02 min. 07 sec. East, 13.38 feet to a point; thence leaving said Right-of-Way Line and along the Southern line of Lot 45, North 89 degs. 57 min. 53 sec. West, 161.41 feet to a point; thence North 04 degs. 21 min. 04 sec. West, 52.91 feet to a point; thence North 18 degs. 20 min. 16 sec. West, 52.58 feet to a point; thence South 82 degs. 07 min. 27 sec. East, 187.14 feet to a point on the Western Right-of-Way Line of Oakwood Drive; thence with said Right-of-Way Line, and along the arc of a curve having a radius of 360.0 feet and curving to the right, 224.73 feet, (chord North 25 degs. 45 min. 35 sec. East, 221.10 feet) to a point; thence leaving said Right-of-Way Line and along the Southern line of Lot 41, North 40 degs. 10 min. 27 sec. West, 154.44 feet to a point; thence South 50 degs. 14 min. 22 sec. West, 72.09 feet to an iron stake set; thence North 29 degs. 22 min. 41 sec. West, 204.23 feet to a point on the Southern Right-of-Way Line of Mockingbird Lane; thence with said line, and along the arc of a curve having a radius of 170.0 feet and curving to the right, 57.28 feet, (chord South 81 degs. 32 min. 13 sec. West, 57.01 feet) to a point; thence North 88 degs. 48 min. 35 sec. West, 47.44 feet to a point; thence crossing Mockingbird Lane and beyond, North 01 degs. 10 min. 55 sec. East, 240.58 feet to a point, thence South 88 degs. 49 min. 23 sec. East, 58.64 feet to a point; thence South 41 degs. 43 min. 56 sec. East, 154.06 feet to a point on the Northern Right-of-Way Line of Mockingbird Lane; thence with said line, North 48 degs. 14 min. 20 sec. East, 97.76 feet to a point; thence along the arc of a curve having a radius of 300.0 feet and curving to the left, 202.75 feet, (chord North 28 degs. 52 min. 45 sec. East, 198.91 feet) to a point; thence North 09 degs. 38 min. 35 sec. East, 13.52 feet to an iron stake found; thence crossing Mockingbird Lane, South 80 degs. 32 min. 27 sec. East, 60.05 feet to the POINT AND PLACE OF BEGINNING.

Less and Except that portion designated as Lots 76 through 82, Mellon Downs, Phase II-B, and being described as follows:

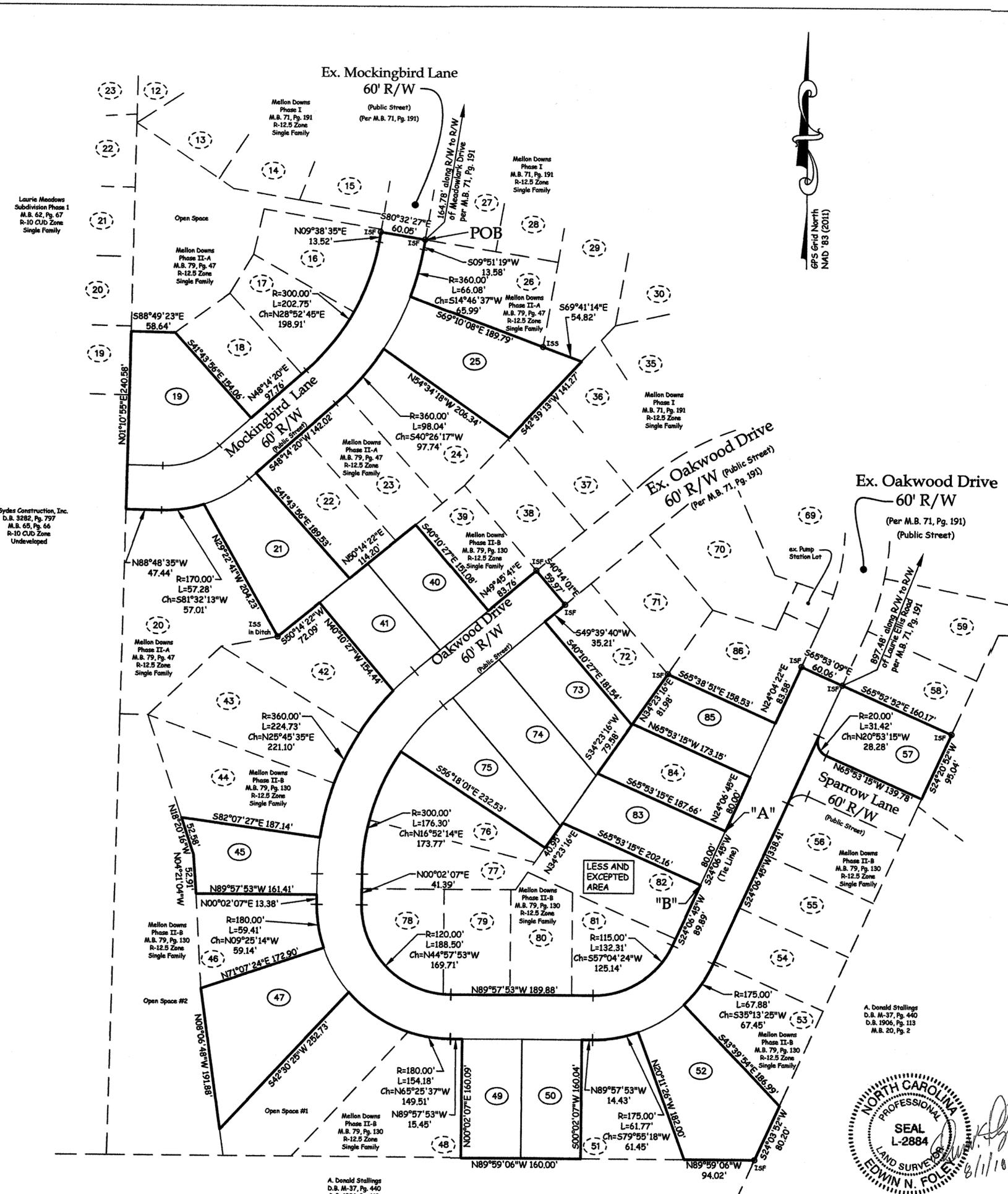
Beginning at a point on the Western Right-of-Way Line of Oakwood Drive, said point being the Northeast corner of Lot 82 and being designated as point "B" on the accompanied Annexation Map; THENCE from said POINT OF BEGINNING and with said Right-of-Way Line, South 24 degs. 06 min. 45 sec. West, 89.89 feet to a point, thence along the arc of a curve having a radius of 115.0 feet and curving to the right, 132.31 feet, (chord South 57 degs. 04 min. 24 sec. West, 125.14 feet) to a point; thence North 89 degs. 57 min. 53 sec. West, 189.88 feet to a point; thence along the arc of a curve having a radius of 120.0 feet and curving to the right, 188.50 feet, (chord North 44 degs. 57 min. 53 sec. West, 169.71 feet) to a point; thence North 00 degs. 02 min. 07 sec. East, 41.39 feet to a point; thence along the arc of a curve having a radius of 300.0 feet and curving to the right, 176.30 feet, (chord North 16 degs. 52 min. 14 sec. East, 173.77 feet) to a point; thence leaving said Right-of-Way Line and along the Northern line of Lot 76, South 56 degs. 18 min. 01 sec. East, 232.53 feet to a point; thence North 34 degs. 23 min. 16 sec. East, 40.95 feet to a point; thence South 65 degs. 53 min. 15 sec. East, 202.16 feet to the POINT AND PLACE OF BEGINNING.

The described tract contains 9.08 acres, more or less, and being Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, 85, Mockingbird Lane, and Oakwood Drive; Mellon Downs, Phase II-A and II-B and referenced to Map Book 79, Page 47 and Map Book 79, Page 130. All courses are referenced to Map Book 79, Page 47.

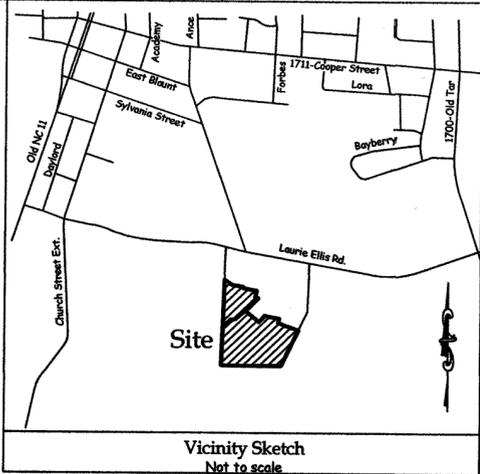
This description being prepared by Parker & Associates, Inc. from recorded information and is for annexation purposes only.


Edwin N. Foley, P.L.S., L-2884





- LEGEND:**
- Ac. - Acreage
 - AG - Above Ground
 - BG - Below Ground
 - C - Centerline
 - Comp. - Computed Point
 - D.B. - Deed Book
 - ISS - Iron Stake Set
 - ISF - Iron Stake Found
 - IPF - Iron Pipe Found
 - M.B. - Map Book
 - RISS - Reference Iron Stake Set
 - [] - Distance to Reference Iron R/W - Right-of-way
- (23) - Adjoining Lot Number
 POB - Point of Beginning for Annexation Description



Petitioners List

Lot Number	Owner
19	Alexander & Jennifer Alves
21	Matthew & Nicole Carrowan
25	Julie Tucker
40	April & Jerimiah Vernon
41	Dytanyain Lamb
45	Eric & Amanda Hardy
47	Keith & Nichole Richards
49	Thomas & Tonya Allen
50	Kaitlyn & Bryce Jones
52	Vickie Harrington
57	Javon & Darnesha Brumsey
73	Gerret & Kimberly Smith
74	Charles & Arden Walt
75	John Collins & Ginny Gilmore
83	Ryan & Jennifer Zimmerman
85	Heather & Brian Greisiger

This map was prepared from recorded information and not by actual survey.

ANNEXATION MAP - 9.08 ACRES
LOTS 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, 85,
MOCKINGBIRD LANE & OAKWOOD DRIVE
MELLON DOWNS PHASE II-A & II-B
 Winterville Twp., Pitt Co., North Carolina

Owners:
See Petitioners List

DATE: 07/30/18
SCALE: 1"=100'

GRAPHIC SCALE: 1"=100'
 0 50 100 200 300 FEET

PARKER & ASSOCIATES, INC.
 Engineers - Surveyors - Planners
 Jacksonville, North Carolina
 P.O. Box 976 - 306 New Bridge Street - 28540
 Phone (910) 455-2414 - www.ParkerJacksonville.com
 N.C. Firm License Number: F-0108



Field Book: N/A
 Disk Name: ACAD 2530
 Filename: Mellon Downs Annex.dwg KHW
 Job No.: S180725-6854

NOTICE OF PUBLIC HEARING
Town of Winterville

NOTICE IS HEREBY GIVEN that the Winterville Town Council will meet on Monday, October 8, 2018 at 7:00 pm in the Town Hall Assembly Room at 2571 Railroad Street, to hold a Public Hearing on the following proposal:

The Town of Winterville has received annexation petitions for Mellon Downs, Phases 2A and 2B, Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, and 85, located on Oakwood Drive and Mockingbird Land. The 16 residential lots, located off of Laurie Ellis Road, are zoned R-12.5.

Persons having an interest in this matter and desiring to speak either for or against the annexation are invited to be present and will be given the opportunity to be heard at the Town Council Public Hearing. For further information, contact the Winterville Planning Department at (252) 215-2358.

Block Ad: September 26, 2018
October 3, 2018

Brandon & Kayla Luther
2816 Mockingbird Lane
Winterville, NC 28590

Lakeshia Boone
2826 Mockingbird Lane
Winterville, NC 28590

Fernando Hicks
2836 Mockingbird Lane
Winterville, NC 28590

Alexander & Jennifer Alves
2842 Mockingbird Lane
Winterville, NC 28590

George & Angela Fuller
2851 Mockingbird Lane
Winterville, NC 28590

Matthew & Nicole Carrowan
2845 Mockingbird Lane
Winterville, NC 28590

Brenda Hayes & Linda Wynkoop
2839 Mockingbird Land
Winterville, NC 28590

Lisa Haddock
2833 Mockingbird Land
Winterville, NC 28590

Kenneth & Francine McCullough
2827 Mockingbird Lane
Winterville, NC 28590

Julie Tucker
2823 Mockingbird Lane
Winterville, NC 28590

Brian & Brittany Miller
2817 Mockingbird Lane
Winterville, NC 28590

Thomas & Venus Roeller
2987 Oakwood Drive
Winterville, NC 28590

April & Jerimiah Vernon
2981 Oakwood Drive
Winterville, NC 28590

Dytanyain Lamb
2973 Oakwood Drive
Winterville, NC 28590

Ernest T. & Jasmine E. Roach
2969 Oakwood Drive
Winterville, NC 28590

Charles & Soni Jahrsdorfer
2963 Oakwood Drive
Winterville, NC 28590

Lynne Beck
2957 Oakwood Drive
Winterville, NC 28590

Eric & Amanda Hardy
2953 Oakwood Drive
Winterville, NC 28590

Evan & Molly Pierce
2947 Oakwood Drive
Winterville, NC 28590

Keith & Nichole Richards
2943 Oakwood Drive
Winterville, NC 28590

Randy & Brenda Garris
2931 Oakwood Drive
Winterville, NC 28590

Thomas & Tonya Allen
2927 Oakwood Drive
Winterville, NC 28590

Kaitlyn & Bryce Jones
2919 Oakwood Drive
Winterville, NC 28590

Cortney Jahrsdorfer
2915 Oakwood Drive
Winterville, NC 28590

Vickie Harrington
2909 Oakwood Drive
Winterville, NC 28590

Temias & Jalysa Gavin
2905 Oakwood Drive
Winterville, NC 28590

Huey & Joann Swindell
2899 Oakwood Drive
Winterville, NC 28590

Joshua & Amy Troxell
2893 Oakwood Drive
Winterville, NC 28590

Clarence & Kimberly Whitley
2887 Oakwood Drive
Winterville, NC 28590

Javon & Darnesha Brumsey
2873 Oakwood Drive
Winterville, NC 28590

John & Lisa Petriello
2990 Oakwood Drive
Winterville, NC 28590

Gerret & Kimberly Smith
2984 Oakwood Drive
Winterville, NC 28590

Charles & Arden Walt
2978 Oakwood Drive
Winterville, NC 28590

John Collins & Ginny Gilmore
2970 Oakwood Drive
Winterville, NC 28590

June Ward
2962 Oakwood Drive
Winterville, NC 28590

Troy & Michele Owen
2954 Oakwood Drive
Winterville, NC 28590

William & Virginia Greene
2940 Oakwood Drive
Winterville, NC 28590

Durand & Latisa Cantey
2926 Oakwood Drive
Winterville, NC 28590

Alva & Cathy Stuckey
2920 Oakwood Drive
Winterville, NC 28590

Ebenezer & Ivy Appah
2910 Oakwood Drive
Winterville, NC 28590

Jennifer & Warren White
2898 Oakwood Drive
Winterville, NC 28590

Ryan & Jennifer Zimmerman
2892 Oakwood Drive
Winterville, NC 28590

Kenneth & Kianna Kerwin
2884 Oakwood Drive
Winterville, NC 28590

Heather & Brian Greisiger
2876 Oakwood Drive
Winterville, NC 28590

Charles Jahrsdorfer & Daniel Jahrsdorfer
2872 Oakwood Drive
Winterville, NC 28590

Mellon Downs HOA, Inc
3107 S. Evans St, Ste B,
Greenville NC 27934

A Sydes Construction, Inc
PO Box 7122,
Jacksonville, NC 28540

Antonio Wilder
2813 Verbena Way
Winterville, NC 28590

Nathan and Allison Clark
2819 Verbena Way
Winterville, NC 28590

Edward and Karen Summerlin
2827 Verbena Way
Winterville, NC 28590

Markis and April Vines
2837 Verbena Way
Winterville, NC 28590

Erma Jones
2841 Verbena Way
Winterville, NC 28590

DMS Construction Company
PO Box 7122
Jacksonville, NC 28541

Robert and Angel Holbrook
2861 Verbena Way
Winterville, NC 28590

Belinda Butler
402 Meadowlark Drive
Winterville, NC 28590

James and Grayson Moore
2873 Verbena Way
Winterville, NC 28590

Kenneth Owens
2881 Verbena Way
Winterville, NC 28590

Tyson and Angela Goodard
2893 Verbena Way
Winterville, NC 28590

Charles and Zakiya Sparrow
2899 Verbena Way
Winterville, NC 28590

Brian and Beth Bowen
2905 Verbena Way
Winterville, NC 28590

Erica and Timothy McDonald
2909 Verbena Way
Winterville, NC 28590

Chapel Hill Foundation Real Estate
Holdings, Inc
300 South Building CN1000
Chapel Hill, NC 27599

Taylor and Jamie Johnson
2865 Oakwood Drive
Winterville, NC 28590

Yvonne Artis
2861 Oakwood Drive
Winterville, NC 28590

Richard and Lisa Yocum
3014 Oakwood Drive
Winterville, NC 28590

Jerry Campbell
3002 Oakwood Drive
Winterville, NC 28590

Sammy and Wanda Mills
2994 Oakwood Drive
Winterville, NC 28590

Jamal and Melissa Perkins
2991 Oakwood Drive
Winterville, NC 28590

Lisa Mayo and Arunas Juska
2997 Oakwood Drive
Winterville, NC 28590

Spencer and Kristen Letchworth
3003 Oakwood Drive
Winterville, NC 28590

Clyde and Monique Armstrong
3009 Oakwood Drive
Winterville, NC 28590

Steven and Deborah Waters
440 Meadowlark Drive
Winterville, NC 28590

Christopher and Kacie Mizell
434 Meadowlark Drive
Winterville, NC 28590

Melissa Mickey
426 Meadowlark Drive
Winterville, NC 28590

Lauren and Chad Miller
416 Meadowlark Drive
Winterville, NC 28590

Julio Quinn
410 Meadowlark Drive
Winterville, NC 28590

Virlika Prayer
404 Meadowlark Drive
Winterville, NC 28590

Town of Winterville
Annexation Ordinance

Ordinance No: **18-O-**

Property Annexed: Mellon Downs, Phases 2A and 2B: Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, and 85

Ordinance Adopted: October 8, 2018

Effective Date: October 31, 2018

Mail to:

Town of Winterville
Planning Department
2571 Railroad Street
Winterville, NC 28590

**AN ORDINANCE TO EXTEND THE CORPORATE LIMITS OF THE
TOWN OF WINTERVILLE, NORTH CAROLINA**

Mellon Downs, Phases 2A and 2B: Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, and 85

WHEREAS, the Town Council has been petitioned under NCGS 160A-31 to annex the area described below; and

WHEREAS, the Town Council has, by resolution, directed the Acting Town Clerk to investigate the sufficiency of the petition; and

WHEREAS, the Acting Town Clerk has certified the sufficiency of the petition and a public hearing on the question of annexation was held at the Winterville Town Hall at 7:00 pm on October 8, 2018 after due notice was given by publication on September 26, 2018 and October 3, 2018; and

WHEREAS, the Town Council finds that the petition meets the requirements of NCGS 160A-31;

NOW, THEREFORE, BE IT RESOLVED by the Town Council of the Town of Winterville, North Carolina that:

Section 1. By virtue of the authority granted by NCGS 160A-31, the following described territory is hereby annexed and made part of the Town of Winterville as of October 31, 2018:

Mellon Downs, Phases 2A and 2B: Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, and 85

A certain tract of land in the Mellon Downs Subdivision, Phase II-A and 11-B, on Mockingbird Lane and Oakwood Drive and being more particularly described as follows:

Beginning at an iron stake found on the Eastern Right-of-Way Line of Mockingbird Lane, 60 foot Right-of-Way, said iron being the Northwest corner of Lot 26 Mellon Downs, Phase II-A, as recorded in Map Book 79, Page 47; **THENCE** from said point of beginning and with said Right-of-Way Line, South 09 degs. 51 min. 19 sec. West, 13.58 feet to a point; thence along the arc of a curve having a radius of 360.0 feet and curving to the right, 66.08 feet, (chord South 14 degs. 46 min. 37 sec. West, 65.99 feet) to a point; thence leaving said Right-of-Way Line and along the Northern line of Lot 25, South 69 degs. 10 min. 08 sec. East, 189.79 feet to an iron stake set; thence South 69 degs. 41 min. 14 sec. East, 54.82 feet to a point; thence South 42 degs. 39 min. 13 sec. West, 141.27 feet to a point; thence North 54 degs. 34 min. 18 sec. West, 206.34 feet to a point on the Eastern Right-of-Way Line of Mockingbird Lane; thence with said line and along the arc of a curve having a radius of 360.0 feet and curving to the right, 98.04 feet, (chord South 40 degs. 26 min. 17 sec. West, 97.74 feet) to a point; thence South 48 degs. 14 min. 20 sec. West, 142.02 feet to a point; thence leaving

said Right-of-Way Line and along the Northern line of Lot 21, South 41 degs. 43 min. 56 sec. East, 189.53 feet to a point; thence North 50 degs. 14 min. 22 sec. East, 114.20 feet to a point; thence South 40 degs. 10 min. 27 sec. East, 151.08 feet to a point on the Northern Right-of-Way Line of Oakwood Drive; thence with said line, North 49 degs. 45 min. 41 sec. East, 83.76 feet to an iron stake found; thence crossing Oakwood Drive, South 40 degs. 14 min. 01 sec. East, 59.97 feet to an iron stake found on the Southern Right-of-way Line of Oakwood Drive; thence with said line, South 49 degs. 39 min. 40 sec. West, 35.21 feet to a point; thence leaving said line and along the Northern line of Lot 73, South 40 degs. 10 min. 27 sec. East, 181.54 feet to a point; thence South 34 degs. 23 min. 16 sec. West, 79.58 feet to a point; thence South 65 degs. 53 min. 15 sec. East, 187.66 feet to a point on the Western Right-of-Way Line of Oakwood Drive; thence with said line, North 24 degs. 06 min. 45 sec. East, 8"0.0 feet to a point; thence leaving said line and with the Northern line of Lot 84, North 65 degs. 53 min. 15 sec. West, 173.15 feet to a point; thence North 34 degs. 23 min. 16 sec. East, 81.98 feet to an iron stake found; thence South 65 degs. 38 min. 51 sec. East, 158.53 feet to a point on the Western Right-of-Way Line of Oakwood Drive; thence with said line, North 24 degs. 04 min. 22 sec. East, 83.58 feet to an iron stake found, thence crossing Oakwood Drive, South 65 degs. 53 min. 09 sec. East, 60.06 feet to an iron stake found on the Eastern Right-of- Way Line of Oakwood Drive and being the Northwest corner of Lot 57; thence leaving said Right-of-Way Line and along the Northern line of Lot 57, South 65 degs. 52 min. 52 sec. East, 160.17 feet to an iron stake found; thence South 24 degs. 20 min. 52 sec. West 95.04 feet to a point on the Northern Right-of-Way Line of Sparrow Lane; thence with said line, North 65 degs. 53 min. 15 sec. West, 139.78 feet to a point; thence along the arc of a curve having a radius of 20.0 feet and curving to the right, 31.42 feet, (chord North 20 degs. 53 min. 15 sec. West, 28.28 feet) to a point on the Eastern Right-of-Way Line of Oakwood Drive; thence with said line South 24 degs. 06 min. 45 sec. West, 338.41 feet to a point; thence along the arc of a curve having a radius of 175.0 feet and curving to the right, 67.88 feet, (chord South 35 degs. 13 min. 25 sec. West, 67.45 feet) to a point; thence leaving said Right-of-Way Line and along the Northern line of Lot 52, South 43 degs. 39 min. 54 sec. East, 186.99 feet to a point, thence South 24 degs. 03 mins. 52 secs. West, 80.20 feet to an iron stake found; thence North 89 degs. 59 min. 06 sec. West, 94.02 feet to a point; thence North 20 degs. 11min. 26 sec. West, 182.0 feet to a point on the Southern Right-of-Way Line of Oakwood Drive, thence with said Line and along the arc of a curve having a radius of 175.0 feet and curving to the right, 61.77 feet, (chord South 79 degs. 55 min. 18 sec. West, 61.45 feet) to a point; thence North 89 degs. 57 min. 53 sec. West, 14.43 feet to a point; thence leaving said Right-of-Way Line and along the Eastern line of Lot 50, South 00 degs. 02 min. 07 sec. West, 160.04 feet to a point; thence North 89 degs. 59 min. 06 sec. West, 160.0 feet to a point; thence North 00 degs. 02 min. 07 sec. East, 160.09 feet to a point on the Southern Right-of-Way Line of Oakwood Drive; thence with said line, North 89 degs. 57 min. 53 sec. West, 15.45 feet to a point; thence along the arc of a curve having a radius of 180.0 feet and curving to the right, 154.18 feet, (chord North 65 degs. 25 min. 37 sec. West, 149.51feet) to a point; thence leaving said Right-of-Way Line and along the Southern line of Lot 47, South 42 degs. 30 min. 25 sec. West, 252.73 feet to a point; thence North 08 degs. 06 min. 48 sec. West, 191.88 feet to a point, thence North 71degs. 07 min. 24 sec. East, 172.90 feet to a point on the Western Right-of-Way line of Oakwood Drive; thence with said line, and along the arc of a curve having a radius of 180.0 feet and curving to the right, 59.41 feet,{chord North 09 degs. 25 min. 14 sec. West,59.14 feet) to a point; thence North 00

degs. 02 min. 07 sec. East, 13.38 feet to a point; thence leaving said Right-of-Way Line and along the Southern line of Lot 45, North 89 degs. 57 min. 53 sec. West, 161.41 feet to a point; thence North 04 degs. 21 min. 04 sec. West, 52.91 feet to a point; thence North 18 degs. 20 min. 16 sec. West, 52.58 feet to a point; thence South 82 degs. 07 min. 27 sec. East, 187.14 feet to a point on the Western Right-of-Way line of Oakwood Drive; thence with said Right-of-Way Line, and along the arc of a curve having a radius of 360.0 feet and curving to the right, 224.73 feet, {chord North 25 degs. 45 min. 35 sec. East, 221.10 feet) to a point; thence leaving said Right-of-Way Line and along the Southern line of Lot 41, North 40 degs. 10 min. 27 sec. West, 154.44 feet to a point; thence South 50 degs. 14 min. 22 sec. West, 72.09 feet to an iron stake set; thence North 29 degs. 22 min. 41 sec. West, 204.23 feet to a point on the Southern Right- of-Way Line of Mockingbird Lane; thence with said line, and along the arc of a curve having a radius of 170.0 feet and curving to the right, 57.28 feet, (chord South 81 degs. 32 min. 13 sec. West, 57.01 feet) to a point; thence North 88 degs. 48 min. 35 sec. West, 47.44 feet to a point; thence crossing Mockingbird Lane and beyond, North 01 degs. 10 min. 55 sec. East, 240.58 feet to a point, thence South 88 degs. 49 min. 23 sec. East, 58.64 feet to a point; thence South 41 degs. 43 min. 56 sec, East, 154.06 feet to a point on the Northern Right-of-Way Line of Mockingbird Lane; thence with said line, North 48 degs. 14 min. 20 sec. East, 97.76 feet to a point; thence along the arc of a curve having a radius of 300.0 feet and curving to the left, 202.75 feet, (chord North 28 degs. 52 min. 45 sec. East, 198.91 feet) to a point; thence North 09 degs. 38 min. 35 sec. East, 13.52 feet to an iron stake found; thence crossing Mockingbird Lane, South 80 degs. 32 min. 27 sec. East, 60.05 feet to the POINT AND PLACE OF BEGINNING.

Less and Except that portion designated as Lots 76 through 82, Mellon Downs, Phase 11- B, and being described as follows:

Beginning at a point on the Western Right-of-Way Line of Oakwood Drive, said point being the Northeast corner of Lot 82 and being designated as point "B" on the accompanied Annexation Map; THENCE from said POINT OF BEGINNING and with said Right-of-Way Line, South 24 degs. 06 min. 45 sec. West, 89.89 feet to a point, thence along the arc of a curve having a radius of 115.0 feet and curving to the right, 132.31 feet, (chord South 57 degs. 04 min. 24 sec. West, 125.14 feet) to a point; thence North 89 degs. 57 min. 53 sec. West, 189.88 feet to a point; thence along the arc of a curve having a radius of 120.0 feet and curving to the right, 188.50 feet, (chord North 44 degs. 57 min. 53 sec. West, 169.71 feet) to a point; thence North 00 degs. 02 min. 07 sec. East, 41.39 feet to a point; thence along the arc of a curve having a radius of 300.0 feet and curving to the right, 176.30 feet, (chord North 16 degs. 52 min. 14 sec. East, 173.77 feet) to a point; thence leaving said Right-of-Way Line and along the Northern line of Lot 76, South 56 degs. 18 min. 01 sec. East, 232.53 feet to a point; thence North 34 degs. 23 min. 16 sec. East, 40.95 feet to a point; thence South 65 degs. 53 min. 15 sec. East, 202. 16 feet to the POINT AND PLACE OF BEGINNING.

The described tract contains 9.08 acres, more or less, and being Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83, 85, Mockingbird Lane, and Oakwood Drive; Mellon

Downs, Phase II-A and 11-B and referenced to Map Book 79, Page 47 and Map Book 79, Page 130. All courses are referenced to Map Book 79, Page 47.

This description being prepared by Parker & Associates, Inc. from recorded information and is for annexation purposes only.

Section 2. Upon and after April 30, 2018, the above-described territory and its citizens and property shall be subject to all debts, laws, ordinances and regulations in force in the Town of Winterville and shall be entitled to the same privileges and benefits as other parts of the Town of Winterville. Said territory shall be subject to municipal taxes according to NCGS 160A-58.10.

Section 3. the Mayor of the Town of Winterville shall cause to be recorded in the Office of the Register of Deeds of Pitt County, and in the Office of the Secretary of State in Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1 above, together with a duly certified copy of this ordinance. Such map shall also be delivered to the County Board of Elections, as required by NCGS 163-288.1.

Adopted this the 8th day of October, 2018.

Douglas A. Jackson, Mayor

ATTEST:

Don Harvey, Town Clerk

North Carolina

Pitt County

I hereby certify that the foregoing is a true and accurate copy of an ordinance duly adopted by the Town Council of the Town of Winterville, North Carolina, at a meeting held on April 9, 2018 at 7 o'clock p.m. at the Town Hall in the Town of Winterville.

IN WITNESS WHEREOF I have hereunto set my hand and have caused the official corporate seal of the Town of Winterville to be affixed, this ____ day of _____, 20__.

Amy P. Barrow, Acting Town Clerk

North Carolina

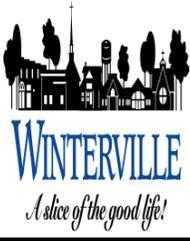
Pitt County

I, Kristin L. Godley, a Notary Public, do hereby certify that Amy P. Barrow, Acting Town Clerk, personally appeared before me this day and acknowledged the due execution of the foregoing certification, for the purpose therein expressed.

WITNESS my hand and notarial seal this ____ day of _____, 20__.

NOTARY PUBLIC

My Commission Expires: _____



**Town of Winterville
Town Council
Agenda Abstract**

Item Section: Public Hearings

Meeting Date: October 8, 2018

Presenter: Bryan Jones, Planning Director

Item to be Considered

Subject: Aces for Autism Property (parcel 14643) – Rezoning.

Action Requested: Hold the Public Hearing.

Attachments: Rezoning Map and Rezoning Application, Notice of Public Hearing, Addresses of Adjacent Property Owners.

Prepared By: Bryan Jones, Planning Director

Date: 9/27/2018

ABSTRACT ROUTING:

TC

FD

TM 10/2/2018

Final 10/2/2018

Supporting Documentation

Aces for Autism Property Rezoning:

Location: Parcel # 14643; Located on the south side of Worthington Road at its intersection with Old Tar Road

Current Zoning: Agriculture Residential (AR)

Size: 23.03 Acres.

Proposed Zoning: Office and Institutional (O & I)

*All regulations will be in accordance with an O & I District.

*P&Z recommended approval of the rezoning at the September 17, 2018 Meeting.

*Public Hearing notification was published in the Daily Reflector on September 26th and October 3rd.

* Adjacent Property owners were mailed notification on September 26th, 2018.

Budgetary Impact: TBD.

Recommendation: Staff recommends approval of the rezoning.



REZONING APPLICATION
TOWN OF WINTERVILLE
2571 Railroad Steet
P O Box 1459
Winterville, NC 28590
Phone: (252) 756-2221

Staff Use Only
Appl. # _____

OWNERSHIP INFORMATION:

Applicant: Aces for Autism

Address: P.O. Box 3986, Greenville, NC 27836

Phone #: (252) 689-6645

Owner: Kenneth Gillespie Harris, III and Wanda Harris Spong

Address: 4498 Rolling Meadows, Ellicott City, Maryland 21043 & 3720 Linwood Rd., Columbia, SC 29205

Phone #: (803) 269-3348

PROPERTY INFORMATION

Parcel #: 14643 Area (square feet or acres): 23.60 acres

Current Land Use: Agricultural

Location of Property: The site is located on Worthington Road, approximately 1,115 feet east of the intersection of Old Tar Road.

ZONING REQUEST

Existing Zoning: AR Requested Zoning: O&I (Office and Institutional)

Reason for zoning change: To provide zoning compatible with the proposed use of the property to align zoning patterns with the comprehensive vision of the Town.

This application shall be accompanied by the following items:

- A map drawn to a scale of not less than 400 feet to the inch and not more than 20 feet to the inch showing the land covered by the proposed amendment;
- A legal description of the property;
- A list of the names and addresses of all owners of property involved in the map change and all adjoining property owners as shown on County tax records;
- A filing fee according to a regularly adopted Fee Schedule of the Town.

OWNER/AGENT STATEMENT

I, Kyle Robinson, Aces for Autism Board President, being the Owner or Agent (if Agent, complete section below) request that the attached rezoning request be placed on the agenda of the Planning and Zoning Board meeting scheduled for Sept. / 17 / 2018.

I understand that failure to address any item in the zoning amendment application requirements of the zoning ordinance my result in the rezoning request not meeting the minimum submission requirements and will be returned to me for revision and resubmission at the next regular review cycle.

Signature *[Handwritten Signature]* Date 8/19/18

NOTE: AGENTS ACTING ON BEHALF OF THE PROPERTY OWNER MUST HAVE A NOTARIZED STATEMENT FROM THE PROPERTY OWNER GIVING THEM THE AUTHORITY TO ACT ON THE OWNER'S BEHALF.

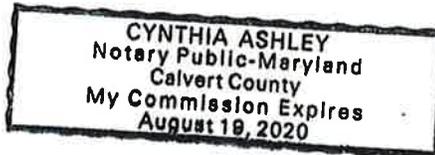
I, Kenneth G. Harris III, being the Owner of the property described herein, do hereby authorize Kyle Robinson, Aces for Autism Board President as agent for the purpose of this application.

Signature *Kenneth G. Harris III* Date 8/22/18

Sworn to and subscribed before me, this 22 day of Aug, 20 18.

Cynthia Ashley
Notary Public

My Commission Expires:
8-19-20



OWNER/AGENT STATEMENT

I, Kyle Robinson, Aces for Autism Board President, being the Owner or Agent (if Agent, complete section below) request that the attached rezoning request be placed on the agenda of the Planning and Zoning Board meeting scheduled for Sept. / 17 / 2018.

I understand that failure to address any item in the zoning amendment application requirements of the zoning ordinance my result in the rezoning request not meeting the minimum submission requirements and will be returned to me for revision and resubmission at the next regular review cycle.

[Signature]
Signature _____ Date 8/19/18

NOTE: AGENTS ACTING ON BEHALF OF THE PROPERTY OWNER MUST HAVE A NOTARIZED STATEMENT FROM THE PROPERTY OWNER GIVING THEM THE AUTHORITY TO ACT ON THE OWNER'S BEHALF.

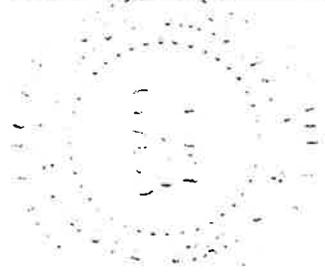
I, Wanda Harris Spong, being the Owner of the property described herein, do hereby authorize Kyle Robinson, Aces for Autism Board President as agent for the purpose of this application.

[Signature]
Signature _____ Date 8-22-18

Sworn to and subscribed before me, this 22nd day of August, 2018.

[Signature]
Notary Public

My Commission Expires:
Dec 08 2026



Staff Use Only

Appl. #: _____ Fee Amount _____ Date Paid _____

Planning Board Recommendation: APPROVED Meeting Date: _____
DENIED

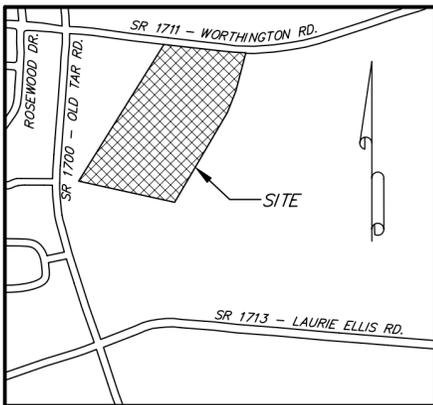
Conditions/Comments: _____

Board of Aldermen Decision: APPROVED Meeting Date: _____
DENIED

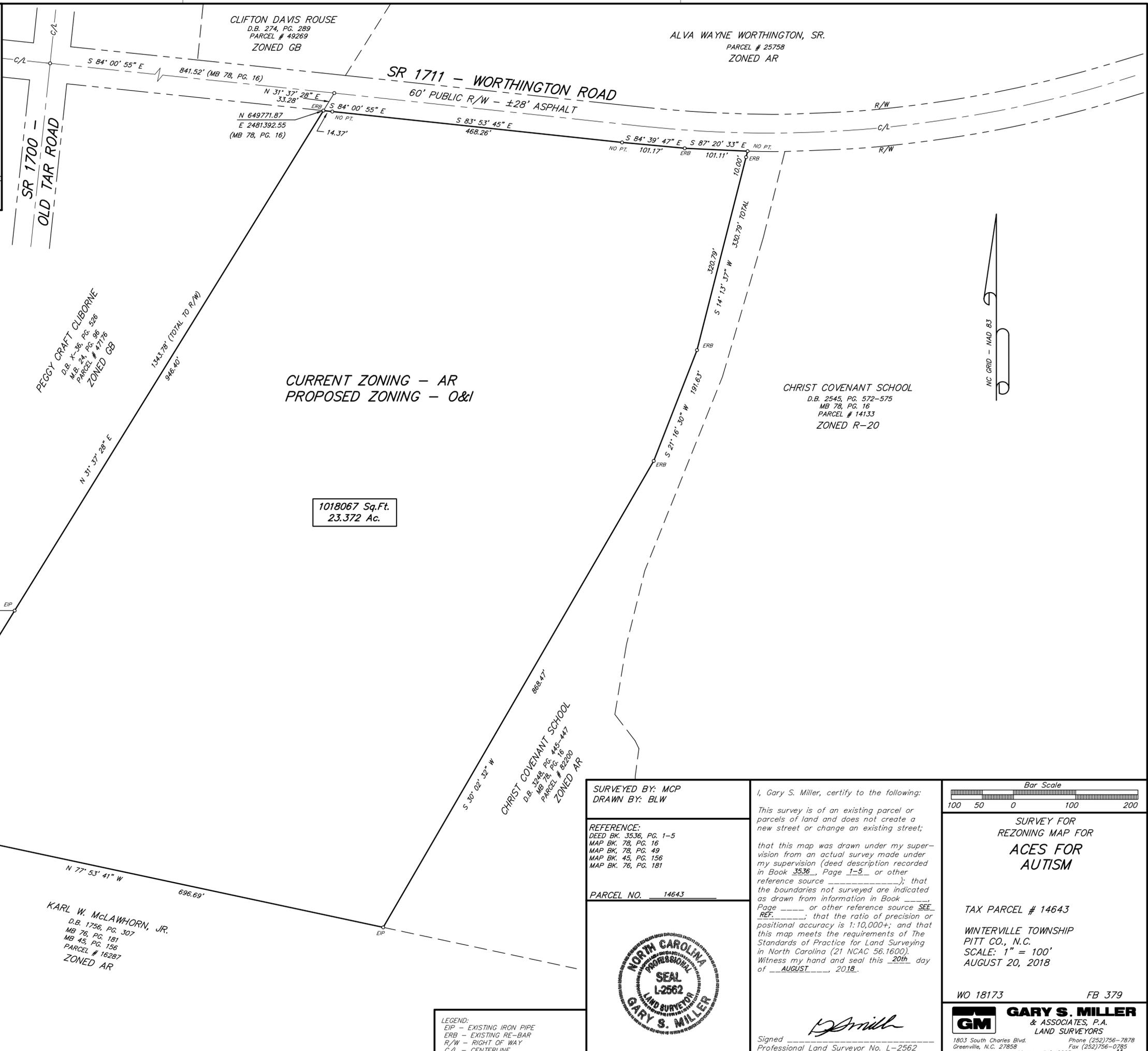
Conditions/Comments: _____

REZONING MAP
FOR
ACES FOR AUTISM

Beginning at a point located in the centerline intersection of SR 1700 – Old Tar Road and SR 1711 – Worthington Road thence running along the centerline of SR 1711 – Old Tar Road S 84-00-55 E, 841.52 feet to a point located in the centerline of SR 1711 – Old Tar Road; thence leaving the centerline of SR 1711 – Old Tar Road S 31-37-28 W, 33.28 feet to an existing rebar located on the southern right of way of SR 1711 – Old Tar Road the POINT OF BEGINNING said existing rebar having NC Grid Coordinates N 649771.87 and E 2481392.55; thence from said point of beginning and running along the southern right of way of SR 1711 – Old Tar Road the following courses and distance S 84-00-55 E, 14.37 feet to a point; thence S 83-53-45 E, 468.26 feet to a point; thence S 84-39-47 E, 101.17 feet to an existing rebar; thence S 87-20-33 E, 101.11 feet to a point; thence leaving the southern right of way of SR 1711 – Worthington Road S 14-13-37 W, 10.00 feet to an existing rebar; thence continuing S 14-13-37 W, 320.79 feet to an existing rebar; thence S 21-16-30 W, 191.63 feet to an existing rebar; thence S 30-02-32 W, 868.47 to an existing iron pipe; thence N 77-53-41 W, 696.69 feet to an existing rebar; thence N 77-41-10 W, 122.23 feet to an existing iron pipe; thence N 31-37-28 E, 397.38 feet to an existing iron pipe; thence continuing N 31-37-28 E, 946.40 feet to the point of beginning containing 23.372 acres.



VICINITY MAP 1" = 1,000'



1018067 Sq.Ft.
23.372 Ac.

CURRENT ZONING - AR
PROPOSED ZONING - O&I

CHRIST COVENANT SCHOOL
D.B. 2545, PG. 572-575
MB 78, PG. 16
PARCEL # 14133
ZONED R-20

ASHPLEY MARIE CRAFT
D.B. 1074, PG. 798
PARCEL # 38731
ZONED AR

ASHPLEY MARIE CRAFT
D.B. 1100, PG. 824
PARCEL # 62650
ZONED AR

ASHPLEY MARIE CRAFT
D.B. 1074, PG. 798
PARCEL # 38731
ZONED AR

KARL WESLEY
McLAWHORN, JR.
D.B. 1756, PG. 302
PARCEL # 68837
ZONED AR

KARL W. McLAWHORN, JR.
D.B. 1756, PG. 307
MB 76, PG. 181
MB 45, PG. 156
PARCEL # 16287
ZONED AR

CHRIST COVENANT SCHOOL
D.B. 3245, PG. 445-447
MB 78, PG. 16
PARCEL # 82200
ZONED AR

CLIFTON DAVIS ROUSE
D.B. 274, PG. 289
PARCEL # 49269
ZONED GB

ALVA WAYNE WORTHINGTON, SR.
PARCEL # 25758
ZONED AR

PEGGY CRAFT CLIBORNE
D.B. X-36, PG. 526
MB 24, PG. 98
PARCEL # 47176
ZONED GB

LEGEND:
EIP - EXISTING IRON PIPE
ERB - EXISTING RE-BAR
R/W - RIGHT OF WAY
C/L - CENTERLINE

SURVEYED BY: MCP
DRAWN BY: BLW

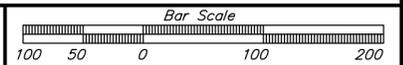
REFERENCE:
DEED BK. 3536, PG. 1-5
MAP BK. 78, PG. 16
MAP BK. 78, PG. 49
MAP BK. 45, PG. 156
MAP BK. 76, PG. 181

PARCEL NO. 14643



I, Gary S. Miller, certify to the following:
This survey is of an existing parcel or parcels of land and does not create a new street or change an existing street;
that this map was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 3536, Page 1-5 or other reference source _____); that the boundaries not surveyed are indicated as drawn from information in Book _____ Page _____ or other reference source SEE REF. _____; that the ratio of precision or positional accuracy is 1:10,000+; and that this map meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600).
Witness my hand and seal this 20th day of AUGUST, 2018.

Signed *G. Miller*
Professional Land Surveyor No. L-2562



SURVEY FOR
REZONING MAP FOR
**ACES FOR
AUTISM**
TAX PARCEL # 14643
WINTERVILLE TOWNSHIP
PITT CO., N.C.
SCALE: 1" = 100'
AUGUST 20, 2018

WO 18173 FB 379
GARY S. MILLER
& ASSOCIATES, P.A.
LAND SURVEYORS
1803 South Charles Blvd. Phone (252)756-7878
Greenville, N.C. 27858 Fax (252)756-0785
License # C-0225 41

NOTICE OF PUBLIC HEARING
Town of Winterville

NOTICE IS HEREBY GIVEN that the Winterville Town Council will meet on Monday, October 8, 2018 at 7:00 pm in the Town Hall Assembly Room at 2571 Railroad Street, to hold a Public Hearing on the following proposal:

A proposal to rezone Parcel 14643, owned by Kenneth Gillespie Harris, III and Wand Harris Spong, from Agricultural-Residential (AR) to Office and Institutional (OI) zoning district. The OI District is a district in which the principal use of land is for residences, general business offices and professional offices, and institutional types such as hospitals and medical clinics which do not materially detract from nearby residential areas.

Copies of the Zoning Ordinance and Map are on file at the Planning Department Office in the Town Hall and are available for public inspection during normal business hours (8:00 am to 5:00 pm) Monday through Friday.

Persons having an interest in this matter and desiring to speak either for or against the annexation are invited to be present and will be given the opportunity to be heard at the Town Council Public Hearing. For further information, contact the Winterville Planning Department at (252) 215-2358.

Block Ad: September 26, 2018
October 3, 2018

Peggy Craft Cliborne
5052 Old Tar Road
WINTERVILLE NC 28590

Christ Covenant School
4889 Old Tar Road
Winterville, NC 28590

Ashpley Marie Craft
5079 Old Tar Road
Winterville, NC 28590

Alva Wayne Worthington, Sr
785 Worthington Road
Winterville, NC 28590

Karl Wesley McLawhorn
5111 Old Tar Road
Winterville, NC 28590

Clifton David Rouse
513 Irish Lane
Winterville, NC 28590

Kenneth Gillespie Harris III
Wanda Harris Spong
4498 Rolling Meadows
Ellicott City, MD 21043

**AN ORDINANCE TO AMEND CHAPTER 155
ZONING ORDINANCE OF THE
CODE OF ORDINANCES OF THE
TOWN OF WINTERVILLE, NORTH CAROLINA
OFFICIAL ZONING MAP**

WHEREAS, Aces for Autism has requested amendment of the Zoning Ordinance of the Town of Winterville by rezoning of the property described herein of Agricultural-Residential District to Office & Institutional District; and

WHEREAS, a public hearing on the question of this zoning amendment was held, at the Winterville Town Hall at 7:00 p.m. on October 8, 2018, after due notice publication on September 26, 2018 and October 3, 2018; and

WHEREAS, due notice of said public hearing was also given by first class mail to the owners of all parcels, as shown on the County Tax Records, adjoining the parcel under consideration, certification of which has been to the Winterville Town Council; and

WHEREAS, due notice of said public hearing was also given by posting a rezoning request notice on the subject property;

WHEREAS, the Winterville Town Council finds that the proposed rezoning is in compliance with the Town of Winterville's Comprehensive Land Use Plan;

NOW, THEREFORE, BE IT ORDAINED by the Town Council of the Town of Winterville, North Carolina that:

Section 1. The Town Of Winterville Zoning Ordinance, Official Zoning Map, is hereby amended by rezoning the following described track from Agricultural-Residential District to Office & Institutional District:

*23.60 acre tract land located on the **south side of Worthington Road**, being a portion of **Tax Parcel 14643**, and being more particularly described on the attached legal description provided below. A recombination survey for the tract was recorded at the Pitt County Register of Deeds prior to the rezoning and can be found on Map Book 78, Page 16.*

**LEGAL DESCRIPTION OF PROPERTY
REZONED FROM AR TO OI
ACES FOR AUTISM
WINTERVILLE TOWNSHIP, PITT, NC**

Lying and being situate in Winterville Township, Pitt County, North Carolina and being more particularly described as follows:

Beginning at a point located in the centerline intersection of SR 1700 – Old Tar Road and SR 1711 – Worthington Road thence running along the centerline of SR 1711 – Old Tar Road S 84-00-55 E, 841.52 feet to a point located in the centerline of SR 1711 – Old Tar Road; thence leaving the centerline of SR 1711 – Old Tar Road S 31-37-28 W, 33.28 feet to an existing rebar located on the southern right of way of SR 1711 – Old Tar Road the POINT OF BEGINNING said existing rebar having NC Grid Coordinates N 649771.87 and E 2481392.55; thence from said point of beginning and running along the southern right of way of SR 1711 – Old Tar Road the following courses and distance S 84-00-55 E, 14.37 feet to a point; thence S 83-53-45 E, 468.26 feet to a point; thence S 84-39-47 E, 101.17 feet to an existing rebar; thence S 87-20-33 E, 101.11 feet to a point; thence leaving the southern right of way of SR 1711 – Worthington Road S 14-13-37 W, 10.00 feet to an existing rebar; thence continuing S 14-13-37 W, 320.79 feet to an existing rebar; thence S 21-16-30 W, 191.63 feet to an existing rebar; thence S 30-02-32 W, 868.47 to an existing iron pipe; thence N 77-53-41 W, 696.69 feet to an existing rebar; thence N 77-41-10 W, 122.23 feet to an existing iron pipe; thence N 31-37-28 E, 397.38 feet to an existing iron pipe; thence continuing N 31-37-28 E, 946.40 feet to the point of beginning containing 23.372 acres.

End of Legal Description

Section 2. This action shall be shown on the Official Zoning Map.

Section 3. This ordinance shall become effective upon adoption.

Adopted this 8th day of October, 2018.

Douglas A. Jackson, Mayor

ATTEST:

Don Harvey, Town Clerk



**Winterville Town Council
April 9, 2018
Regular Meeting Minutes**

The Winterville Town Council met in a Regular Meeting on the above date at 7:00 PM in the Town Hall Assembly Room, with Mayor Douglas A. Jackson presiding. The following were present:

Douglas A. Jackson, Mayor
Mark Smith, Mayor Pro-Tem
Ricky Hines, Councilman
Tony Moore, Councilman
Johnny Moyer, Councilman
Veronica Roberson Councilwoman
Keen Lassiter, Town Attorney
Terri L. Parker, Town Manager
Ben Williams, Assistant Town Manager
Ryan Willhite, Police Chief
David Moore, Fire Chief
Travis Welborn, Public Works Director
Robert Sutton, Electric Director
Anthony Bowers, Finance Director
Evan Johnston, Parks and Recreation Director
Bryan Jones, Planning Director
Stephen Penn, Economic Development Planner
Amy P. Barrow, Acting Town Clerk/Executive Staff/Human Resource Assistant

CALL TO ORDER: Mayor Jackson called the meeting to order.

INVOCATION: Councilman Moyer gave the Invocation.

PLEDGE OF ALLEGIANCE: Mayor Jackson led everyone in the Pledge of Allegiance.

WELCOME: Mayor Jackson welcomed the public.

APPROVAL OF AGENDA: Town Manager Parker asked to add a proclamation on Volunteer Appreciation Week, a correction of Bayberry Drive to Bayberry Lane, and a change in the announcements.

Motion made by Mayor Pro Tem Smith and seconded by Councilman Hines to approve the amended agenda. The motion carried unanimously, 5-0.

PROCLAMATION: Mayor Jackson presented the following proclamations:

Boys and Girls Club Week – April 9 through April 13, 2018

PROCLAMATION

**BOYS & GIRLS CLUB WEEK in WINTERVILLE
APRIL 9 – APRIL 13, 2018**

WHEREAS, the young people of Winterville are tomorrow's leaders; and

WHEREAS, many such young people need professional youth services to help them reach their full potential; and

WHEREAS, the Boys & Girls Club in Winterville, North Carolina provides services to more than 626 young people annually; and

WHEREAS, Boys & Girls Clubs are places where great futures start. They are at the forefront of efforts in academic success, healthy lifestyles, and good character and citizenship; and

WHEREAS, Boys & Girls Club organizations in our State help ensure that our young people are kept off the streets, offering them a safe and supportive place to go and providing them with quality programs; and

WHEREAS, Boys & Girls Clubs of the Coastal Plain will celebrate National Boys & Girls Club Week, 2018 along with some 4,000 Clubs and more than two (2) million young people nationwide.

NOW, Therefore, I, Douglas Jackson, Mayor of Winterville, North Carolina do hereby proclaim, April 9 through April 13, 2018 as **BOYS & GIRLS CLUB WEEK** in Winterville. I hereby urge all citizens to join with me in recognizing and commending the Boys & Girls Club in Winterville for providing comprehensive and effective services to the young people in our communities.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Great Seal of Winterville, North Carolina this the 9th day of April 2018.

Douglas A. Jackson, Mayor

ATTEST:

Amy P. Barrow, Acting Town Clerk

3

Motion made by Councilman Moore and seconded by Councilwoman Roberson to approve the proclamation for the Boys and Girls Club in Winterville. The motion carried unanimously, 5-0.

Emmanuel Community Unison Baptist Church Mortgage Burning Celebration Day – May 20, 2018

PROCLAMATION

**EMMANUEL COMMUNITY UNISON BAPTIST CHURCH
MORTGAGE BURNING CELEBRATION DAY
May 20, 2018**

WHEREAS Emmanuel Community Unison Baptist Church located at 3501 Speight Seed Farm Road, Winterville, North Carolina, will celebrate their dedicational Mortgage Burning Ceremony on May 20, 2018; and

WHEREAS Emmanuel Community Unison Baptist Church was established to exalt Christ, equip believers, and empower peoples' lives and began its Christian journey in the Kiwanis Building in 1998 and New Deliverance Church until 2003; and

WHEREAS Under the visionary leadership of Pastor Mary G. Worsley to build sanctuary for the Lord's Church along with the officers and congregation and much hard work the new worship center was built at the present location of 3501 Speight Seed Farm Road in the township of Winterville in October 2003; and

WHEREAS Emmanuel Community Unison Baptist Church has reached the finalization of the burning of their mortgage marked by a day of celebration in the accomplishment of this significant milestone as evidence of God's promise fulfilled,

NOW, THEREFORE, I, Douglas A. Jackson, Mayor of the Town of Winterville, North Carolina, do hereby proclaim Sunday, May 20, 2018 to be **Emmanuel Community Unison Baptist Mortgage Burning Celebration Day**.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the Great Seal of Winterville, North Carolina this the 9th day of April 2018.

Douglas A. Jackson, Mayor

ATTEST:

Amy P. Barrow, Acting Town Clerk

4

Motion made by Councilman Moye and seconded by Councilwoman Roberson to approve the proclamation for Emmanuel Community Unison Baptist Church Mortgage Burning Celebration Day. The motion carried unanimously, 5-0.

National Volunteer Appreciation Week – April 15 through April 21, 2018

**PROCLAMATION
NATIONAL VOLUNTEER WEEK
APRIL 15th – 21st, 2018**

WHEREAS, National Volunteer Week was established in 1974 to celebrate the impact of volunteers in their respective communities and inspire to serve; and,

WHEREAS, our volunteers make a difference by devoting countless hours to mentoring children, serving the elderly and those with disabilities, providing food and shelter to the needy, sustaining our arts, protecting and beautifying our environment, remembering our history and preserving our cultural institutions; and,

WHEREAS, these volunteers represent all facets of Winterville, including but not limited to, non-profit institutions, the business community, faith-based organizations, schools and colleges, senior citizen groups; and,

WHEREAS, individuals and groups play an important role by building a successful, strong and vibrant community and playing a critical role in the life and well-being of residents; and,

NOW, THEREFORE, I, Douglas A. Jackson, Mayor of the Town of Winterville do hereby proclaim April 15th – 21st, 2018 National Volunteer Week, recognize and thank all of those who lend their time, talent, voice and support to causes they care about and urge all citizens of Winterville to consider volunteering.

Douglas A. Jackson, Mayor

Attest:

Amy P. Barrow, Acting Town Clerk

Motion made by Mayor Pro Tem Smith and seconded by Councilman Hines to approve the proclamation for National Volunteer Appreciation Week. The motion carried unanimously, 5-0.

PRESENTATIONS: Mayor Jackson introduced the following presentations:

Presentation of USDA Programs: Kim Miller, Area Specialist discussed several programs offered by USDA noted in the presentation below:

TOWN OF WINTERVILLE

USDA Community Facilities Program

Ⓢ RATES AND TERMS:

- Interest Rate for this quarter is 3.50%. This rate is good through March 30th. We do expect our rate to go up slightly for the new quarter beginning April 1st.
- The rate can change quarterly. However, once approved is fixed for the life of the loan.
- If at the time the loan is closed, the interest rate is lower – you would get the benefit of the lower rate.
- We can finance new construction for 30 years and in some cases 40 years.
- Our loans are simple interest loans. This means you can borrow the money one day and pay it off the next (no prepayment penalty).

Ⓢ GRANT POSSIBILITIES:

- Based on the Median Household of the town (\$60,611), Winterville is not eligible for grant assistance. For reference, to be eligible for grant, the maximum income is \$40,899.60

Ⓢ USDA REQUIREMENTS:

- 10% of the annual payment is required to be deposited into a reserve account until one full year's payment accumulates.
- We do have an Environmental Review requirement / process for the new construction. The level of review will be determined by a variety of factors including: floodplains, total project size, etc. The project architect or engineer will prepare the EA.

- Annual financial reports are required for the life of the loan. The type of report required depends on the amount of loan. For example, a \$750,000 loan will require a GAGAS audit. We assume the town already has this type of audit prepared each year.
- Public notice requirements for application. We are required to have a public hearing. Some environmental assessments could include a public notice (wetlands, etc.)
- Procurement:
 - New Construction: Architect or engineer to submit stamped plans, put out for bid. We will attend monthly construction progress meetings.
 - We can potentially assist with a rehabilitation project. This would require our architect reviewing the site prior to the application to determine if same is economically feasible.
 - All projects require a Feasibility Report prepared by a licensed architect or engineer.
- Non-availability of other credit. We must determine that other credit is not available at affordable rates and terms.

We appreciate your interest in USDA, Rural Development programs.

Kim Miller
Area Specialist



PO Box 6189
Kinston, NC 28501
phone (252) 526-9799 ext. 4
fax (252) 526-9607

Committed to the future of rural communities.

Mayor Jackson asked if anyone had any questions. Councilman Hines thanked Kim for coming and sharing the presentation with the Council.

Mayor Jackson welcomed a group of students from South Central High School honors civics class.

Presentation of Sanitary Sewer - Asset Management Plan (AMP): Blaine Humphrey, Rivers & Associates, Inc. and Assistant Town Manager Williams provided the following information.

Assistant Town Manager Williams summarized funding received for Asset Inventory and Assessment of the sanitary sewer collection system. In the spring of 2016, the Town applied for funding assistance for the development of a Sanitary Sewer Collection System Asset Inventory and Assessment. The NC Department of Environmental Quality (NCDEQ) Division of Water Infrastructure (DWI) reviewed the funding application and approved the Town of Winterville for grant assistance for \$150,000. The Town committed to providing a 20% local match (\$30,000).

The Town contracted with Rivers & Associates, Inc. to develop an Asset Management Plan for the Town's sanitary sewer collection system. This plan provides the documentation and support for budget forecasting in future budget years. The Plan has four (4) major components: Inventory of Assets, Condition of Assessment, Needs Prioritization, and a Capital Improvement Plan. The intent of the Asset Management Plan is to ensure long-term sustainability of the wastewater utility.

Blaine Humphrey from Rivers and Associates explained the funding through the Division of Water Infrastructure (DWI) and thanked staff for their assistance. The Town delivers the required level of service in a sustainable manor and stated budget forecast considered a living document reviewed annually and updated regular.

The Town has approximately 48.6 miles of gravity sewer mains, 11.9 miles of force main; 1,065 manholes and 25 duplex pump stations, transmitted to CMSD for treatment and discharge into Contentnea Creek. The Town has to pay to treat a high volume of infiltration, that is ground water or rainwater; based on the water bill and how much pumped. If the Town fixed all the leaks, they would save approximately \$220,000 a year.

What assets you have, how they are maintained, and repair to pump stations is crucial. Inventory all the sewer assets, assess the needs, and put together a capital project. Address aging infrastructure is a positive direction, pump stations are in better condition than the gravity sewer mains built in the 1950's and 1960's.

The positive benefit of asset management is the greater ability to plan and pay for future projects. The critical area of importance is a better understanding and communication with customers. Capital Improvement Projects are a management tool. Proper operation is for public health, asset management helps efficiency, long-term sustainability, and concern for Economic Development.

Provided tables in the full report, catalog the entire gravity sewer, pump station questionnaires for each station, assessment on all information that the Town had on the rating. See if pump stations are operating, as they should be. Budget typical O&M cost for cleaning of the system, 10% of the system cleaned each year of fats, oil, and grease programed in the O&M cost suggested for CIP with the projects anticipated for the future projects



**Town of Winterville
WASTEWATER ASSET MANAGEMENT PLAN
April 2018
Adopted:**



ENGINEERS, PLANNERS, SURVEYORS & LANDSCAPE ARCHITECTS
107 East Second Street
Greenville, North Carolina 27858
252-752-4135

NC Firm License No. F-0334



Executive Summary

The overall objective of asset management planning is to: *Deliver the required level of service to existing and future customers in a sustainable and cost effective manner.*

The purpose of the Town of Winterville's Wastewater Asset Management Plan is to ensure that assets are operated and maintained, so that they provide the required level of service for present and future customers in a sustainable and cost effective manner.

This plan provides the documentation and support for budget forecasting in future budget years for wastewater collection and transmission assets. The Town should consider implementing a continuous improvement approach to asset management planning in the short term. The Wastewater Asset Management Plan should be reviewed annually for necessary modifications in support of the Town's Capital Improvement Plan (CIP).

The Town of Winterville owns and operates a sanitary sewer collection system which has 3,778 connections (3,585 residential, 180 commercial, 13 other). The Sewer Department operates and maintains the sewer collection system consisting of approximately 48.6 miles of gravity sewer mains, approximately 11.9 miles of force mains, and 23 duplex pump stations. Pressure sewer and simplex pump stations also make up components of the system. All sanitary sewer is transmitted to the Contentnea Metropolitan Sewer District (CMSD) for treatment and disposal.

The intent of asset management is to ensure the long-term sustainability of the wastewater utility. By assisting Town management make better decisions on when it is most appropriate to repair, replace, or rehabilitate particular assets and by developing a long-term funding strategy, the Town can ensure its ability to deliver the required level of service perpetually.

The following basic approach was applied to asset management plan development.

1. Inventory Assets - Catalog the sewers, pump stations, and transmission equipment.
2. Assess Condition of Assets - What assets need repairs, rehabilitation, and replacement?
3. Rank & Prioritize Needs - Assess the 'criticality' of the assets and also the consequences of failure.
4. Capital Improvement Plan - Establish an equipment repair, replacement, and upgrade schedule.





The overall condition of the wastewater collection and transmission system is considered to be good. Current inspection and maintenance activities identify potential areas of concern and allow the Town to proactively remedy problems before they become severe and threaten the operation and efficiency of the system.

However, due to the age of portions of the collection system piping and some pump stations, there will likely be issues in the near future that could impact the collection systems ability to operate efficiently. Continued daily monitoring and inspections, as well as a Phase II Sanitary Sewer Evaluation Survey (SSES) will help identify potential problems and rehabilitation or replacement activities that will allow for continued operation of the system.



The Town should consider continuing its on-going effort to reduce Infiltration/Inflow (I/I) problems throughout the sanitary sewer collection system and actively pursue corrective actions for deficiencies. This ongoing effort towards I/I reduction will help mitigate potentially hazardous circumstances for the Town's operations and maintenance staff as well as for the citizens.

Based on the evaluation of the wastewater collection system, the following projects listed below may be considered for inclusion by the Town in the next CIP update.

- Chapman Pump Station Replacement (FY 2020/21) - \$616,000
- Robinson Heights Pump Station Rehabilitation (FY 2021/22) - \$410,000
- Magnolia Ridge Pump Station Rehabilitation (FY 2024/25) - \$448,000
- Winterville Crossing Pump Station Rehabilitation (FY 2026/27) - \$260,000

An initial larger Sanitary Sewer System Rehabilitation Project should include projects currently listed in the CIP, namely Myrtle, Grimes, Hammond, Tyson and Jones Street Gravity Rehabilitation, as well as Sylvania, Main and May Street Gravity Replacement and additional gravity sewer lining, point repairs and sewer replacement. (FY 2018/19) - \$3,534,000



Councilman Hines asked how often the pumps tested and their life span are. Public Works Director Welborn responded we check the pump stations Monday, Wednesday, and Friday to see the run time on the pumps. If one is not running, we send off for a rebuild. Last time we had an engineer in approximately 2012. We recirculate water in the wet well; do not have a set time but inspect three times a week. Blaine Humphrey stated pumps do not have pressure gages on the wet well; consider adding an exterior vault and putting pressure pumps gauges in the vault, so you know things you want to add for maintenance Public Works Director Welborn easy to notice run times, rebuild them before they completely fail

Councilman Hines asked if pumps run off electricity or gas. Public Works Director Welborn run off electricity, we do have four bypass pumps that run off diesel powered, however they require refueling and checking every day. Councilman Hines is there another more economical way. Public Works Director Welborn electricity is the most economical way for primary pumps.

Councilman Moyer the Robinson Heights pump station, installed in 1978, did they rebuild or replace since. Public Works Director Welborn stated rebuilt at least one since he has been here. We have just started keeping spreadsheet records in the last 3-4 years of when we rebuild or replace a pump. Blaine Humphrey portions of the table are not up to date due to lack of information. Councilwoman Roberson how often does CMSD assess our flow. Town Manager Parker once a month we receive a report. Flow meters are now in place to record quantities.

Assistant Town Manager Williams thank Blaine. The report takes stock of what we have for use by staff and council to make decisions. Assistant Town Manager Williams it helps for seeking grant applications. We are not just asking for money and not know what we need to fix, update and maintain the records. We will continue to fill in the gaps on the tables to document in full our situation.

Assistant Town Manager Williams asked that tonight we would like Council to accept the document and adopt the Sanitary Sewer Asset Management Plan presented tonight.

Motion made by Councilman Moore and seconded by Councilman Hines to accept the document and adopt the Sanitary Sewer Asset Management Plan.

Councilman Moyer asked if we were going to makes the updated notes. Assistant Town Manager Williams said we could update and relay information as it is available. Town Manager Parker said we might not have the information, on the Robinson Heights pump station, we will investigate this information.

Any further discussion. All in favor of motion. Motion carried unanimously, 5-0.

Councilman Hines asked for our guests, what is a CIP. Assistant Town Manager Williams said, Capital Improvement Plan, a long-term needs plan. Town Manager Parker stated we are working on one for water also. Assistant Town Manager Williams responded that is correct

PUBLIC HEARINGS: Mayor Jackson introduced the public hearings:

Annexation of the Ange Plaza Lot 28: Planning Director Jones presented the request with the following presentation. SAHL Investments, LLC is applying for annexation of Ange Plaza Lot 28 (Recombination of Lots 18 and 28). Ange Plaza Lot 28 Location: Beacon Drive. (Parcel Numbers: 73418 and 73416). North of intersection with Vernon White Road. Size: 1.24 acres. Zoned: Office and Institutional. Annexation Process published March 28th and April 4th.

- 1st Council Meeting: Direct Town Clerk to Investigate the Sufficiency of the Annexation.
- 2nd Council Meeting: Schedule a Public Hearing for the Annexation.
- 3rd Council Meeting: Hold Public Hearing on the Annexation.

PETITION REQUESTING ANNEXATION

Date: January 10, 2018

To the Mayor and Town Council of the Town of Winterville:

1. We the undersigned owners of real property respectfully requested that the area described in Paragraph 2 below be annexed to the Town of Winterville.

2. The area to be annexed is contiguous to the Town of Winterville and the boundaries of such territory are as follows:

Description

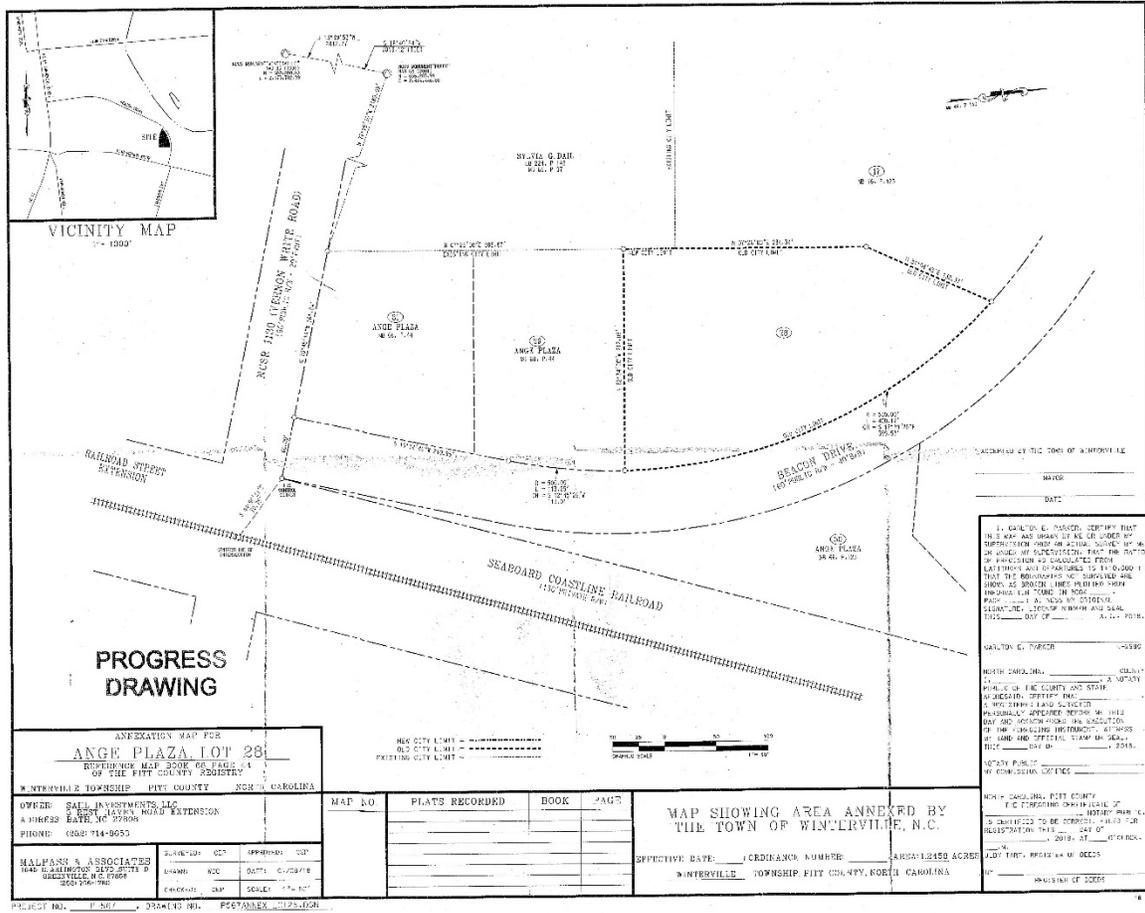
Ange Plaza Lot 28

Name SAHL Investments, LLC

Address 3 Rest Haven Road Extension

Signature 

Bath, NC 27808



Mayor Jackson declared the public hearing open, asked if anyone would like to speak in favor of the annexation request. Mayor Jackson asked if anyone would like to speak in opposition of the rezoning request.

Mayor Jackson asked if there were any further questions; hearing none, he closed the public hearing and asked the pleasure of the Board.

Motion made by Councilman Moye and seconded by Councilwoman Roberson to approve the Annexation of the Ange Plaza Lot 28. Motion carried unanimously, 5-0.

Harris Tract A Rezoning (Villa Grande, Phase 2): Planning Director presented the request with the following presentation. Harris Tract A (Villa Grande, Phase 2) Rezoning. Location: Parcel # 10262; Located on Red Forbes Road – north of Pocosin Road/NC 903 South. Current Zoning: Agriculture Residential Size: 18.34 Acres. Proposed Zoning: R-10. Sign placed on the property and adjacent property owners mailed a notice of the rezoning application on March 28, 2018, and notice published in the Daily Reflector on March 28, 2018 and April 4, 2018. Adjacent property is Villa Grande, Phase I and is zoned R-10.



**REZONING APPLICATION
TOWN OF WINTERVILLE**

2571 Railroad Steet
P O Box 1459
Winterville, NC 28590
Phone: (252) 756-2221

Staff Use Only
Appl. # _____

OWNERSHIP INFORMATION:

Applicant: Raymond C. Harris, Jr. & Carolyn B. Harris

Address: 684 Pocosin Road, Winterville, NC 28590

Phone #: 252-756-5251

Owner: Raymond C. Harris, Jr. & Carolyn B. Harris

Address: 684 Pocosin Road, Winterville, NC 28590

Phone #: 252-756-5251

PROPERTY INFORMATION

Parcel #: 10262 Area (square feet or acres): 18.34 acres

Current Land Use: Agriculture crop land

Location of Property: Off 2715 Raymond's Lane

ZONING REQUEST

Existing Zoning: A-R Requested Zoning: R-10

Reason for zoning change: To facilitate a quiet, medium density neighborhood for single family dwellings.

This property is will be an expansion of the existing Villa Grande Phase One, a single family residential development that is currently zoned R-10.

This application shall be accompanied by the following items:

- A map drawn to a scale of not less than 400 feet to the inch and not more than 20 feet to the inch showing the land covered by the proposed amendment;
- A legal description of the property;
- A list of the names and addresses of all owners of property involved in the map change and all adjoining property owners as shown on County tax records;
- A filing fee according to a regularly adopted Fee Schedule of the Town.

OWNER/AGENT STATEMENT

I, John G. Thomas, being the Agent, request that the attached rezoning request be placed on the agenda of the Planning and Zoning Board meeting scheduled for 3 / 19 / 2018.

I understand that failure to address any item in the zoning amendment application requirements of the zoning ordinance may result in the rezoning request not meeting the minimum submission requirements and will be returned to me for revision and resubmission at the next regular review cycle.

Signature: John G. Thomas Date: 3/5/2018

NOTE: AGENTS ACTING ON BEHALF OF THE PROPERTY OWNER MUST HAVE A NOTARIZED STATEMENT FROM THE PROPERTY OWNER GIVING THEM THE AUTHORITY TO ACT ON THE OWNER'S BEHALF.

We, Raymond C. Harris, Jr. and Carolyn B. Harris, being the Owners of the property described herein, do hereby authorize John G. Thomas as agent for the purpose of this application.

Signature: Raymond C. Harris, Jr. Date: 3-01-18

Signature: Carolyn B. Harris Date: Carolyn B 3-01-18

Sworn to and subscribed before me, this 01 day of March, 2018.

William R Wells
Notary Public

My Commission Expires:
8-29-2022



Exhibit "A"
Legal Description
Winterville, Pitt County, North Carolina

Beginning at a Point, said Point being the northwestern most corner of Tract 1 as shown on that certain plat entitled "Survey Shivers – Faulkner Division" dated June 10, 2015 as recorded in Book 79, Page 18 in the Pitt County Register of Deeds.

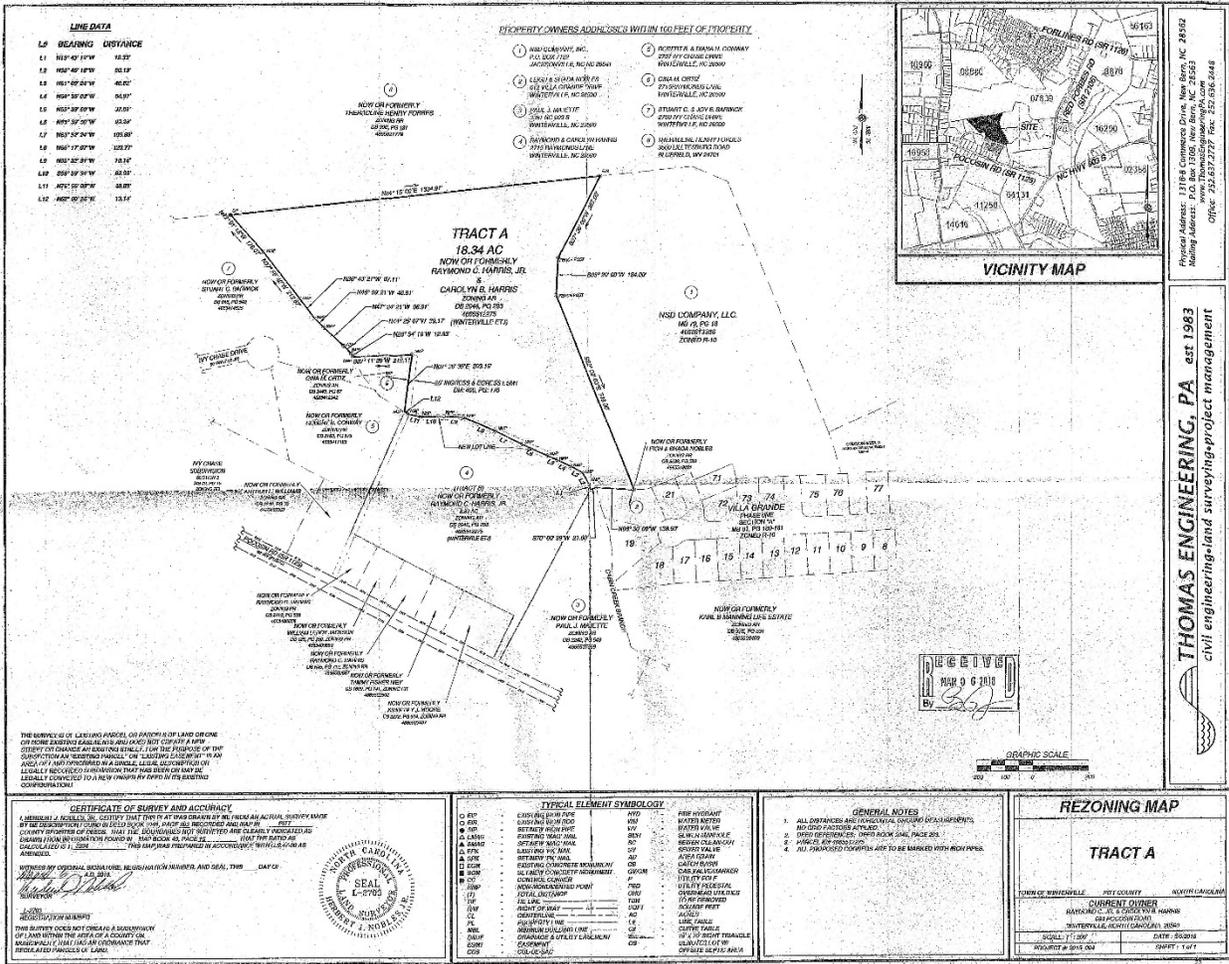
Thence, from said Point of Beginning, along and with the western property line of Tract 1, South 27 degrees 30 minutes 00 seconds West for a distance of 327.00 feet to a point;
Thence, South 03 degrees 20 minutes 00 seconds West for a distance of 134.00 feet to a point;
Thence, South 22 degrees 00 minutes 00 seconds East for a distance of 746.00 feet to a point;
Thence, North 86 degrees 30 minutes 00 seconds West for a distance of 136.50 feet to a point;
Thence, South 70 degrees 00 minutes 39 seconds West for a distance of 21.80 feet to a point in the center of Cabin Creek Branch;
Thence, along and with Cabin Creek Branch, North 15 degrees 43 minutes 12 seconds West for a distance of 19.33 feet to a point;
Thence, North 30 degrees 46 minutes 18 seconds West for a distance of 50.19 feet to a point;
Thence, North 61 degrees 09 minutes 24 seconds West for a distance of 46.52 feet to a point;
Thence, North 64 degrees 36 minutes 03 seconds West for a distance of 54.97 feet to a point;
Thence, North 65 degrees 39 minutes 50 seconds West for a distance of 37.81 feet to a point;
Thence, North 65 degrees 09 minutes 50 seconds West for a distance of 99.28 feet to a point;
Thence, North 63 degrees 52 minutes 24 seconds West for a distance of 106.83 feet to a point;
Thence, North 66 degrees 17 minutes 07 seconds West for a distance of 123.77 feet to a point;
Thence, North 86 degrees 32 minutes 31 seconds West for a distance of 70.14 feet to a point;
Thence, South 88 degrees 59 minutes 34 seconds West for a distance of 82.90 feet to a point;
Thence, North 76 degrees 56 minutes 09 seconds West for a distance of 48.88 feet to a point;
Thence, North 52 degrees 50 minutes 26 seconds West for a distance of 13.14 feet to a point;
Thence, leaving Cabin Creek Branch, North 07 degrees 36 minutes 35 seconds East for a distance of 203.15 feet to a point;
Thence, South 87 degrees 11 minutes 39 seconds West for a distance of 212.11 feet to a point;
Thence, North 28 degrees 54 minutes 19 seconds West for a distance of 12.83 feet to a point;
Thence, North 44 degrees 25 minutes 07 seconds West for a distance of 39.17 feet to a point;
Thence, North 47 degrees 24 minutes 21 seconds West for a distance of 96.91 feet to a point;
Thence, North 46 degrees 09 minutes 21 seconds West for a distance of 46.81 feet to a point;
Thence, North 36 degrees 43 minutes 21 seconds West for a distance of 87.11 feet to a point;
Thence, North 37 degrees 55 minutes 42 seconds West for a distance of 212.67 feet to a point;
Thence, North 42 degrees 01 minutes 13 seconds West for a distance of 178.07 feet to a point;
Thence, North 84 degrees 15 minutes 00 seconds East for a distance of 1334.91 feet to the Point of Beginning;

Containing 18.34 acres, more or less.

Together with and subject to covenants, easements, and restrictions of record.

End of Legal Description

January 3, 2018



Mayor Jackson declared the public hearing open, asked if anyone would like to speak in favor of the plan.

John Thomas with Thomas engineering representing the owners and developers. He stated the land had been in Harris name for quite some time offered to the developers, continue Villa Grande, and asked if he could answer any questions. Councilman Hines does the tract go back over to Frog Level Road. Planning Director Jones, the other tract backs to Frog Level Road. Councilman Hines asked if it butts up against another subdivision. Planning Director Jones stated there is nothing on the other property just Villa Grande.

Mayor Jackson asked if anyone would like to speak in opposition of the plan.

Mayor Jackson asked if there were any further questions; hearing none, he closed the public hearing and asked the pleasure of the Board.

Motion made by Councilman Hines and seconded by Councilman Moye to approve the Rezoning of Harris Tract A (Villa Grande, Phase 2). Motion carried unanimously, 5-0.

PUBLIC COMMENT: Mayor Jackson read the Public Comment Policy.

No Speakers

CONSENT AGENDA:

Items included in the Consent Agenda:

1. Audit Contract Amendment for Fiscal Year 2016 – 2017.
2. Set Public Hearing Date Annexation of Harris Tract A (Parcel No. 10262 / Villa Grande, Phase 2)

Motion made by Mayor Pro Tem Smith and seconded by Councilman Moore to approve the consent agenda. The motion carried unanimously, 5-0.

OLD BUSINESS:

Update on Proposed Railroad Street One-Way and Parking Directional Changes: Public Works Director Welborn noted that Town Council recently voted to re-stripe Railroad Street between Main Street and Depot Street for one-way traffic. Staff contacted ARK Consulting, a local engineering firm, to design the new traffic pattern and parking space layout and have a Contractor complete the work. After some initial investigations and a survey of the existing layout, the Engineer discovered that the existing street would not meet Federal ADA requirements for handicap accessibility if re-striped in its current condition. The Engineer also determined that the street and parking spaces do not currently meet the ADA requirements. To bring the Town into compliance with the American's with Disabilities Act staff requested that the Engineer perform additional survey to determine what improvements are necessary and how much they would cost to bring the street into compliance with ADA and provide for one-way traffic. The findings of this study presented to Council in January. As per Council's direction in the January meeting, staff received four (4) bids on the construction of the proposed improvements. The low bidder (Tripp Brothers, Inc.) provided a price of \$34,208.25.

Councilman Moore asked how long would the project take. Public Works Director Welborn giving the contractor 45 days, will need to cooperate with businesses, however, will be able to maintain pedestrian, with some work possibly on weekends. Councilman Moore stated Vinnie's and the Gun Shop are open on Saturdays. Public Works Director Welborn will always maintain access to properties

Councilman Hines asked if they could enter from the back. Public Works Director Welborn can gain access from the ends of the each blocks. It will be a coordinate effort with business owners beforehand to notify of construction.

Mayor Jackson asked to let everyone know what we are talking about doing. Public Works Director Welborn stated the project would remove approximately a 3rd of the street on the west side of the Railroad tracks. The street is too steep to meet ADA standards. We would remove asphalt and stone to give wheelchair access, regrade and repave the street. Both the east and the west side of the street would be seal coated on the asphalt. New striping done and both streets would become one-way streets with the west side heading south and the east-side heading north.

Councilwoman Roberson some of the citizens had issues with the narrowness in front of the Police Station. Public Works Director Welborn the east side is lower and smoother, make the east side one-way and not the other side would be an option. Councilwoman Roberson need to proceed with the project, people want it done. Mayor Jackson asked if the Railroad owned both streets. Public Works Director Welborn stated yes.

Councilman Moore asked if the Railroad contacted and was the parking angled or straight. Mayor Jackson state we would be wise to get CSX approval before beginning the project. Public Works Director Welborn stated parking angled and we can contact the Railroad.

Councilwoman Roberson would have time to complete this calendar year. Public Works Director Welborn cost \$5,000 to apply and talk to the CSX; do not see an issue with being done by the end of calendar year.



Engineers & Planners

Firm License No. P 1199

April 2, 2018

Mr. Travis Welborn, PE
Public Works Director
Town of Winterville
PO Box 1459
Winterville, North Carolina 28590

Subject: Town of Winterville - Railroad Street On-Street Parking Improvements

Dear Mr. Welborn:

Proposals were received for the subject project in the Town of Winterville's Conference Room located in Town Hall on March 29, 2018. Along with the bidding contractors, I was in attendance as were Ben Williams and Kristin Godley representing the Town of Winterville. The following brief synopsis describes what occurred at the Bid Opening:

- 1) The period for bidding was closed promptly at 2:00 p.m.;
- 2) Bids were opened, the names of each bidder were read aloud, along with the respective license number, acknowledgement of receipt the addendum, bid security, and the amount of the total base bid.

The certified bid tabulation is attached for your use. The low, responsive, responsible proposal is as follows:

Contractor: Tripp Bro's, Inc.
PO Box 128
Ayden, NC 28513

Total Base Bid: \$34,208.25

Please do not hesitate to contact me should you have additional questions or need additional information.

Respectfully submitted,
Ark Consulting Group, PLLC

A handwritten signature in blue ink, appearing to read "Bryan C. Fagundus".

Bryan C. Fagundus, P.E.
Principal

Enclosures

PHONE

WEB

2755-B Charles Blvd. | Greenville, NC 27858

252-558-0888

www.arkconsultinggroup.com

OWNER: Town of Winterville
 PROJECT: Railroad Street On-Street Parking Improvements
 LOCATION: Winterville, NC
 BIDS OPENED: Thursday, March 29, 2018

CERTIFICATION

[Signature]
 I CERTIFY THAT THIS IS A TRUE RECORD OF BIDS RECEIVED.



CONTRACTOR ADDRESS	Tripp Bro's Inc. PO Box 128 Ayden, NC 28513	ER Lewis Construction Company PO Box 555 Greenville, NC 27858	Carolina Earth Movers, Inc. 2252 Alpine Taylor Road Greenville, NC 27834	Lanier Construction Co., Inc. 1503 Browntown Road Snow Hill, NC 28590	Garris Grading & Paving 5950 Gay Rd. Farmville, NC 27828	Moses Paving & Asphalt Repair, LLC 381 Evergreen Dr. Winterville, NC 28590
License No.	54826	8361	38881	18152		
Bid Bond	5%	5%	5%	5%	DID NOT SUBMIT A BID	
Minority Business Participation Docs Received	Yes	Yes	Yes	Yes	DID NOT SUBMIT A BID	
Addendum No. 1 Received	Yes	Yes	Yes	Yes	DID NOT SUBMIT A BID	

ITEM NO.	QTY.	UNIT	DESCRIPTION	UNIT PRICE	COST	UNIT PRICE	COST	UNIT PRICE	COST						
Base Bid															
No.	Est. Qty.		Description												
1	1	LS	Mobilization and Bonding (3% +/-)	\$ 975.00	\$ 975.00	\$ 1,800.00	\$ 1,800.00	\$ 2,277.77	\$ 2,277.77	\$ 2,100.00	\$ 2,100.00	\$ -	\$ -	\$ -	\$ -
2	1	LS	Traffic Control	\$ 2,500.00	\$ 2,500.00	\$ 3,500.00	\$ 3,500.00	\$ 4,200.00	\$ 4,200.00	\$ 3,000.00	\$ 3,000.00	\$ -	\$ -	\$ -	\$ -
3	18	LF	Remove Exist. Curb & Gutter	\$ 10.00	\$ 180.00	\$ 32.00	\$ 576.00	\$ 34.20	\$ 615.60	\$ 25.00	\$ 450.00	\$ -	\$ -	\$ -	\$ -
4	145	SF	Remove Exist. Concrete Sidewalk	\$ 10.35	\$ 1,500.75	\$ 6.50	\$ 942.50	\$ 9.00	\$ 1,305.00	\$ 2.25	\$ 326.25	\$ -	\$ -	\$ -	\$ -
5	455	SY	Remove Exist. Stone Base & Asphalt	\$ 3.00	\$ 1,365.00	\$ 15.40	\$ 11,049.00	\$ 25.80	\$ 11,223.00	\$ 25.00	\$ 10,875.00	\$ -	\$ -	\$ -	\$ -
6	1	LS	General Grading	\$ 2,500.00	\$ 2,500.00	\$ 5,900.00	\$ 5,900.00	\$ 14,400.00	\$ 14,400.00	\$ 17,000.00	\$ 17,000.00	\$ -	\$ -	\$ -	\$ -
7	100	CY	Undercut Excavation w/ Select Backfill	\$ 16.00	\$ 1,600.00	\$ 30.00	\$ 3,000.00	\$ 32.40	\$ 3,240.00	\$ 30.00	\$ 3,000.00	\$ -	\$ -	\$ -	\$ -
8	1	EA	Accessible Ramp	\$ 1,050.00	\$ 1,050.00	\$ 3,200.00	\$ 3,200.00	\$ 3,000.00	\$ 3,000.00	\$ 5,000.00	\$ 5,000.00	\$ -	\$ -	\$ -	\$ -
9	18	LF	24" Concrete Curb & Gutter	\$ 50.00	\$ 900.00	\$ 39.25	\$ 706.50	\$ 38.40	\$ 691.20	\$ 70.00	\$ 1,260.00	\$ -	\$ -	\$ -	\$ -
10	385	SY	8" C&G	\$ 9.70	\$ 3,734.50	\$ 19.00	\$ 7,315.00	\$ 36.00	\$ 13,860.00	\$ 25.00	\$ 9,625.00	\$ -	\$ -	\$ -	\$ -
11	385	SY	3" Asphalt Surface Course	\$ 29.00	\$ 11,165.00	\$ 28.60	\$ 11,011.00	\$ 34.03	\$ 13,101.55	\$ 40.00	\$ 15,400.00	\$ -	\$ -	\$ -	\$ -
12	1	LS	Concrete Accessible Parking Spaces	\$ 3,000.00	\$ 3,000.00	\$ 3,350.00	\$ 3,350.00	\$ 1,020.00	\$ 1,020.00	\$ 6,500.00	\$ 6,500.00	\$ -	\$ -	\$ -	\$ -
13	1,065	SY	Seal Coat	\$ 1.20	\$ 1,278.00	\$ 4.05	\$ 3,413.25	\$ 2.12	\$ 3,529.80	\$ 1.80	\$ 2,997.00	\$ -	\$ -	\$ -	\$ -
14	1	LS	Paint Striping & Signage	\$ 1,800.00	\$ 1,800.00	\$ 6,436.75	\$ 6,436.75	\$ 5,739.48	\$ 5,739.48	\$ 7,000.00	\$ 7,000.00	\$ -	\$ -	\$ -	\$ -
Subtotal				\$ 34,208.25	\$ 34,208.25	\$ 62,200.00	\$ 62,200.00	\$ 78,203.40	\$ 78,203.40	\$ 84,533.25	\$ 84,533.25	\$ -	\$ -	\$ -	\$ -
TOTAL BASE BID				\$ 34,208.25	\$ 34,208.25	\$ 62,200.00	\$ 62,200.00	\$ 78,203.40	\$ 78,203.40	\$ 84,533.25	\$ 84,533.25	\$ -	\$ -	\$ -	\$ -

NOTE: * indicates a correction made to the original bid submitted.

Mayor Jackson asked for any further discussion or any more questions. Hearing none what is the Board's pleasure.

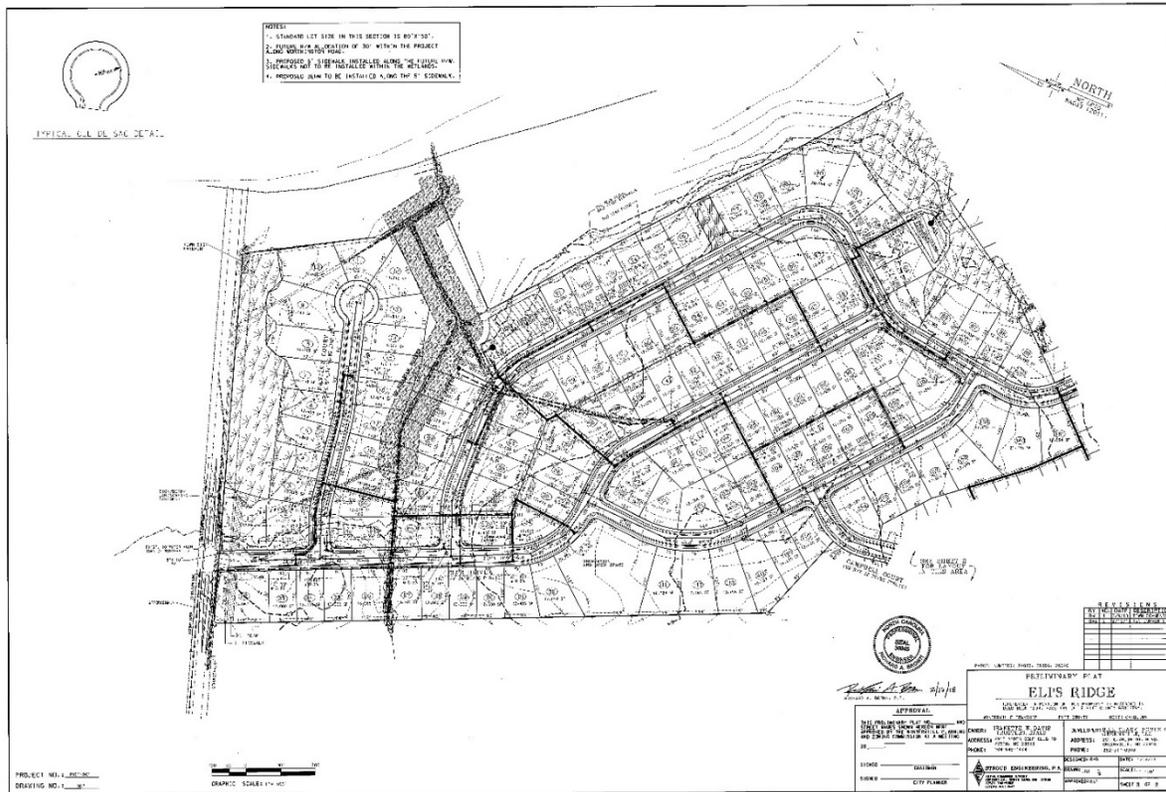
Motion made by Councilman Hines and seconded by Councilman Moore to approve the project proceed contingent upon CSX permitting approval for next fiscal year funding. The motion carried, 4-1, Mayor Pro Tem Smith opposed.

NEW BUSINESS:

Preliminary Plat – Eli's Ridge Subdivision: Planning Director Jones commented. Location: Worthington Road east of its intersection with Old Tar Road. Parcel Numbers: 24023, 25886, 25940. Site Data: 228 Lots, 110.1738 Acres. Zoning District: R-10 – 124 lots and R-8 CUD – 104 lots. Planning and Zoning Board unanimously recommended approval of the preliminary plat at their February 19, 2018 meeting. A natural buffer with the wetlands exists and not able to impact. They will have berms on the frontage. Floodplain usage planned in the future, thus they will comply with floodplain regulations.

Councilman Hines asked about site data acreage for parks and recreation and common area. Mayor Pro Tem Smith said they pay or provide acre fee. Planning Director Jones said it is determined based on market value. Based off the fee at the time of final plat stage. Councilman Hines asked if they dedicate up front. Planning Director Jones said they have to use the calculation per acreage payment in lieu of or acreage, they can roll into phases with open space or payment in lieu of.

Town Manager Parker said that land has to be in the development. Councilman Hines does that come to the Town or the development. Planning Director Jones said the HOA would maintain. Councilwoman Roberson asked do you build the common area first. Landon Weaver with Bill Clark Homes stated that is correct, Phase 1 will include the swimming pool and the facility for residents.



Mayor Jackson asked for any further discussion or any more questions. Hearing none what is the Board's pleasure.

Motion made by Councilman Hines and seconded by Councilwoman Roberson to accept the Preliminary Plat – Eli's Ridge Subdivision. The motion carried unanimously, 5-0.

Going back to the Railroad Street project, Public Works Director Welborn texted the Engineer during the interim and noted that had contacted CSX and received no response. Councilman Hines asked if that is something that Attorney Lassiter could do. Public Works Director Welborn stated it best for the engineer to handle because they do on a daily basis. Attorney Lassiter stated he would be happy to assist, if needed. Town Manager Parker stated that we now have a directive for you to assist, as needed.

2017 Street Improvements Project – Addition of Bayberry Lane stormwater pipe: Public Works Director Welborn commented that during Powell Bill resurfacing, a large 60-inch diameter corrugated metal stormwater pipe located on Bayberry Lane in Craft Winds Subdivision experiencing undermining causing a separated joint resulting in a large sinkhole. Staff has consulted with the Town's consulting Engineer for the current street improvements project who recommends change ordering the work into the existing contract with Tripp Brother's Construction due to the current condition of the pipe and the proximity to work already included in the original project. Prolonging a permanent repair would lead to higher repair costs in the future. The contractor has provided an amount of \$20,535 for this additional work.

Councilwoman Roberson asked about people's yard. Public Works Director Welborn stated we would have to remove driveway and will replace them. Funds will come from the stormwater fund.

Motion made by Councilman Moore and seconded by Councilwoman Roberson to approve the 2017 Street Improvements Project – Addition of Bayberry Lane stormwater pipe.

Councilman Hines pipe will the pipe be metal again and not concrete. Public Works Director Welborn replacing with metal, cannot transition to concrete from metal; concrete pipe would not transition with other pipe in the small area and it is much easier and quicker.

Mayor Jackson asked for any further discussion. The motion carried unanimously, 5-0.

Public Works Director Welborn unexpected items on Gaylord Street and Ange Street between North and Main, the sub grade is a swamp. We have to undercut additional 2-feet, backfill with sand and gravel and pave. We have unit prices on the job, thus, we will not know until the end the result.

Councilman Moore asked if we had started on Vernon yet. Public Works Director Welborn not yet may be later. Councilman Moore stated there is a large hole. Public Works Director Welborn explained that under the asphalt is just dirt with no stone under the asphalt. Councilman Moore can we keep trucks off those streets. Public Works Director Welborn our trucks and Waste Industries have to go through there. Town Manager Parker would be a challenge for enforcement. Public Works Director Welborn stated the street has out lived its life span.

Mayor Pro Tem Smith asked when you think Vernon will be complete. Public Works Director Welborn by the end of the project maybe June. They will use an excavator for regrading, replace the valley gutter, and regrade the street so there is not such a dip.

Councilman Hines the undercut like what they did on Little Drive. Public Works Director Welborn stated yes that is correct, only had to go down 10-inches; just wanted to update on that project.

**Town of Winterville
2017 Street & Drainage Improvements**

Additional Work Summary

Undercut & Backfill

Gaylord Street

Measured on 4/3/18

<u>Measured Amount</u>	<u>Quantity</u>	<u>Contract Price</u>	<u>Total Cost</u>
43'x22' @ 2' Depth	70 CY	\$28.00 CY	\$1,960.00
15'x30' @ 2' Depth	33 CY	\$28.00 CY	\$924.00
32'x22.5' @ 2' Depth	53 CY	\$28.00 CY	\$1,484.00
15'x 28' @ 2' Depth	31 CY	\$28.00 CY	\$868.00
Total	187 CY		\$5,236.00

Ange Street

Measured on 4/4/18

<u>Measured Amount</u>	<u>Quantity</u>	<u>Contract Price</u>	<u>Total Cost</u>
70'x7' @ 2' Depth	36 CY	\$28.00	\$1,008.00
26.5'x169' @ 2' Depth	332 CY	\$28.00	\$9,296.00
Total	368 CY		\$10,304.00

Pavement Patching

Drexel Lane

Measured on 4/3/18

<u>Measured Amount</u>	<u>Quantity</u>	<u>Contract Price</u>	<u>Total Cost</u>
8'x28' (8" CABC; 2" Asphalt Patch)	25 SY	\$45.90	\$1,147.50

Storm Drainage

Bayberry Lane

Per Change Order Request dated 4/4/18

<u>Measured Amount</u>	<u>Total Cost</u>
Remove / Replace 20 lf of 60" CMP	\$20,535.00 *
<i>* This is the amount that Staff is requesting Council approval for this evening.</i>	
Total	\$37,222.50

State Revolving Fund Loan Application – Authorizing Resolution – Sanitary Sewer Rehabilitation:
Assistant Town Manager Williams noted that due to the Town not receiving previously applied for CDBG-

Infrastructure grant funding, staff is continuing to search for opportunities to fund large scale, costly improvement projects. The NC Department of Environmental Quality (NCDEQ) Division of Water Infrastructure (DWI) will be accepting applications for water and sewer improvement projects for the Spring 2018 round. Although the Town has made significant improvements to the existing collection system with past and currently underway projects, the sanitary sewer collection system is in need of continued rehabilitation. There are rehabilitation needs identified by staff and consultants totaling approximately \$3.5 million. It is staff's intent to submit an application for areas targeted in the CDBG-I application and identified in the recently developed Asset Management Plan. Applications are due April 30, 2018 with Notice of Funding anticipated to occur in July 2018. If approved for funding, Council will have the opportunity to decide whether to accept the loan offer. What we are asking is Council adopt the authorizing resolution for the filing of the State Revolving Fund Loan Application.

Councilman Moye ask if any troubles or concerns in the area yet. Assistant Town Manager Williams routinely have to unclog some lines; iron water lines that are failing, sanitary sewer flow in the area that is subject to the problem, and aging infrastructure with leaks. Councilman Hines ask if they explained why they did not fund. Assistant Town Manager Williams stated they have limited funds and ran out before they got to the Town's application ranking.

Public Works Director Welborn biggest problems are aging, joints failing, leaks, and bell endings in these lines. Councilman Moye asked the ones we have been replacing, how have we have the funding. Assistant Town Manager Williams long-term financing, go replace or put a cap on a cleanout, staff can get to the shallow lines, deep lines would rather have a contractor complete.

Public Works Director Welborn said we do not have funds available to take on Capital Projects. Small projects like Church Street gravity sewer and larger project on Cooper, Ange and Forbes Avenue, identified as the biggest leak in the town. Assistant Town Manager Williams said the document identifies the projects to help set up the funding and prepare for loans in a timely manner before they get too costly.

Councilman Hines asked what needs we have identified. Public Works Director Welborn said we have done nighttime flow monitoring, smoke testing; fix those that staff could handle including a leak that was 100,000 gallons a day. We completed the project go back to make sure the fix was adequate. Councilman Hines asked if we have a tracking mechanism in place. Assistant Town Manager Williams said one is the flow monitors, we plug up one hole and it will try to find another hole. Public Works Director Welborn by the time we fix one another occurs. I & I will always be a problem for the Town.

Councilman Moore said that for 38 years we charged for growth and not flow, this past year we started saving significantly. Town Manager Parker said paying for debt service, we need to look at every year; we need to have rates where they need to be. Assistant Town Manager Williams said that every year the system gets a little older.

Councilwoman Roberson said that maybe the offset with electric rates would help with the need to increase the sewer rates. Assistant Town Manager Williams noted that they are enterprise funds and each must be self-sustaining. Councilman Moye said we needed to put money on the side since already denied. Assistant Town Manager Williams noted we are looking at loans to fund the repairs, capital reserve, and ourselves. Councilman Moore noted we are losing money from money in the bank.

Assistant Town Manager Williams said the hole at Forbes could be leaking 100,000 gallons a day. Town Manager Parker noted we have to pay not only the cost to keep up our system; we have to pay for CMSD. Assistant Town Manager Williams said our repairs delay the need for a costly expansion at CMSD.

RESOLUTION BY GOVERNING BODY OF APPLICANT

WHEREAS, The Federal Clean Water Act Amendments of 1987 and the North Carolina the Water Infrastructure Act of 2005 (NCGS 159G) have authorized the making of loans and grants to aid eligible units of government in financing the cost of rehabilitation and construction of wastewater collection systems, and

WHEREAS, The Town of Winterville has need for and intends to construct improvements to the existing wastewater collection system described as Sanitary Sewer System Rehabilitation 2018, and

WHEREAS, The Town of Winterville intends to request state loan and grant assistance for the project,

NOW THEREFORE BE IT RESOLVED, BY THE TOWN COUNCIL OF THE TOWN OF WINTERVILLE:

That the Town of Winterville, the **Applicant**, will arrange financing for all remaining costs of the project, if approved for a State loan/grant award.

That the **Applicant** will adopt and place into effect on or before completion of the project a schedule of fees and charges and other available funds which will provide adequate funds for proper operation, maintenance, and administration of the system and the repayment of all principal and interest on the debt.

That the governing body of the **Applicant** agrees to include in the loan agreement a provision authorizing the State Treasurer, upon failure of the Town of Winterville to make scheduled repayment of the loan, to withhold from the Town of Winterville any State funds that would otherwise be distributed to the local government unit in an amount sufficient to pay all sums then due and payable to the State as a repayment of the loan.

That the **Applicant** will provide for efficient operation and maintenance of the project on completion of construction thereof.

That Terri Parker, Town Manager, the **Authorized Official**, and successors so titled, is hereby authorized to execute and file an application on behalf of the **Applicant** with the State of North Carolina for a loan/grant to aid in the construction of the project described above.

That the **Authorized Official**, and successors so titled, is hereby authorized and directed to furnish such information as the appropriate State agency may request in connection with such application or the project: to make the assurances as contained above; and to execute such other documents as may be required in connection with the application.

That the **Applicant** has substantially complied or will substantially comply with all Federal, State, and local laws, rules, regulations, and ordinances applicable to the project and to Federal and State grants and loans pertaining thereto.

Adopted this the 9th day of April, 2018 at Winterville, North Carolina.

(Signature of Chief Executive Officer)

(Title)

CERTIFICATION BY RECORDING OFFICER

The undersigned duly qualified and acting Town Clerk of the Town of Winterville does hereby certify:
That the above/attached resolution is a true and correct copy of the resolution authorizing the filing of
an application with the State of North Carolina, as regularly adopted at a legally convened meeting of
the Winterville Town Council duly held on the 9th day of April, 2018; and, further, that such resolution
has been fully recorded in the journal of proceedings and records in my office. IN WITNESS WHEREOF, I
have hereunto set my hand this _____ day of _____, 2018.

(Signature of Recording Officer)

(Title of Recording Officer)

Motion made by Councilman Moye and seconded by Councilman Hines to adopt the authorizing resolution for the filing of the State Revolving Fund Loan Application. Mayor Jackson asked for any further discussion. The motion carried unanimously, 5-0.

Award of Contract for Chapman Street Culvert Replacement: Assistant Town Manager Williams noted that flooding due to Hurricane Matthew on October 8, 2016 caused various streets and utilities damage throughout the Town. Damage occurred to existing storm water culverts, road bedding and asphalt surfaces. An undersized culvert at 2457 Chapman Street led to flooding upstream. The existing drainage system consists of two (2) 60-inch diameter corrugated metal pipes and six (6) curb inlets.

A recently compiled drainage study recommended two (2) 6-foot X 5-foot reinforced concrete box culverts. The Town received a \$1,094,000 grant from the Department of Commerce/Gold Leaf Foundation for the replacement of the undersized culvert and repair of adjacent erosion. Staff developed a Request for Qualifications for professional services related to this project. Four (4) firms submitted proposals in response to the RFQ.

The consultant will confirm that the proposed box culverts are the appropriate size and implement the drainage alternative and associated road surface repairs. Upon review of the proposals submitted, Staff is recommending Freese and Nichols be selected to perform the engineering services. Charles Archer with Freese and Nichols is in attendance for any questions. The grant received through the Department of Commerce/Golden Leaf Foundation will fund the project.

Councilwoman Roberson ask if the grant covers engineering. Assistant Town Manager Williams stated it does.

Motion made by Councilman Moore and seconded by Councilwoman Roberson to Award the Contract for Chapman Street Culvert Replacement. The motion carried unanimously, 5-0.

Extension of Solid Waste Contract with Waste Industries: Town Manager Parker noted that The Town of Winterville has contracted with Waste Industries, LLC for residential solid waste services for several years. The time has come for the Town to amend the contract. Mike Donovan, Facilities Manager and Pat Luce, Government Contracts Manager are in attendance to answer any questions. Currently the Town is paying Waste Industries \$7.08 garbage and \$3.44 for recycling.

Total cost per customer is \$10.52. We charge \$11.50 per month per household (assuming one solid waste can and one recycling can). Waste Industries has agreed not to increase for 2018- 2019 and the following years will increase year by the CPI index.

Motion made by Councilman Moore and seconded by Councilwoman Roberson to Award the Solid Waste Contract Extension with Waste Industries. The motion carried unanimously, 5-0.

State of North Carolina
County of Pitt

**AMENDMENT OF CONTRACT AGREEMENT
BETWEEN THE TOWN OF WINTERVILLE AND WASTE INDUSTRIES, LLC**

This amendment of the contract made between The Town of Winterville and Waste Industries, LLC effective September 1, 2009:

Section 8: Contract Term and Performance

Contract will be extended a 3 year period beginning August 1, 2018 and ending July 31, 2021. The term of this Contract shall automatically extend without further action of the parties for an additional two (2) years, unless, not less than 90 days before the termination of the then current term, one party advises the other in writing of its desire to terminate the Contract at the conclusion of the current term of the Contract.

All other Terms and Conditions in this section remain the same.

Section 11: Adjustment of Rates

Beginning August 1, 2019 the rates will be adjusted upward to reflect changes in the cost of operations and measured by changes in the CPI-U, South Region.

All other Terms and Conditions in this section remain the same.

All other Terms and Conditions of the Contract remain the same.

In witness whereof, The Town and Contractor have executed this contract amendment as of this day and year first written:

Waste Industries, LLC

Town of Winterville

By: _____

By: _____

Name: _____

Name: _____

Title: _____

Title: _____

Date: _____

Date: _____

This instrument has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act.

City Finance Officer

Budget Amendment: Finance Director Bowers noted that this is the eighth budget amendment for the 2017-2018 Fiscal Year. This amendment addresses three items. The first item increases the budget so that the staff can complete the entire home repairs related to the URP program that the Council approved at last month's meeting. \$5,900. The second part of the amendment is for the Water Funds portion of the new meter installed at PCC. \$4,500. The third item addresses the need for new Check Valves at the Chapman Street lift station. The amount needed \$5,500.

Motion made by Councilman Moore and seconded by Councilwoman Roberson to approve the Budget Amendment. The motion carried unanimously, 5-0.

BUDGET ORDINANCE AMENDMENT 17-18-08

BE IT ORDAINED by the Governing Board of the Town of Winterville, that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2018:

SECTION 1. Revenues are to be changed as follows:

LINE ITEM DESCRIPTION		Fund	Increase	Decrease
Fund Balance	20 3831	Home Repair Fund	\$ 5,900	
Contribution from Fund Balance	61 3831	Water Fund	\$ 4,500	
Contribution from Fund Balance	62 3831	Serwer Fund	\$ 5,500	
Customer Billings	63 3943	Powell Bill Fund	\$ 20,535	
Total			\$ 36,435	\$ -

SECTION 2. Appropriations are to be changed as follows:

LINE ITEM DESCRIPTION		Department	Fund	Increase	Decrease
Urgent Repair Program	2049451000	4233 Finance	Home Repair Fund	\$ 5,900	
Contribution to the Meter Department	6172721000	9103	Water Fund	\$ 4,500	
Maintenance and Repair	6273732020	4230	Sewer Fund	\$ 5,500	
Paving and Resurfacing	6374742000	7150	Powell Bill Fund	\$ 20,535	
Total				\$ 36,435	\$ -

Adopted the 9th day of April 2018.

Douglas A. Jackson Mayor

Amy P. Barrow Acting Town Clerk

Set date for Special Called Meeting for Town Manager's Performance Review: Town Manager Parker commented that it is time once again for Council to conduct the Town Manager's performance review. Council will need to set a Special Called Meeting to conduct said review. Town Manager Parker suggested since there is an update on the budget meeting already on the calendar for April 30th that a Special Called meeting that right at 6:30 be set. Councilman Hines asked when Council would receive the forms. Town Manager Parker said the end of this week.

Motion made by Councilman Moore and seconded by Councilman Hines to approve the item. The motion carried unanimously, 5-0.

OTHER AGENDA ITEMS: None

ITEMS FOR FUTURE AGENDA/FUTURE WORK SESSIONS:

Councilwoman Roberson asked about plans for the future building for recreation. Town Manager Parker state that she had planned to discuss at the budget session. Councilwoman Roberson said we need to move towards developing a plan, looking at a building or architectural design, maybe involve the ECU folks.

Assistant Town Manager Williams exterior location would be an architectural or planning effort. It is difficult to design a building without knowing the location. Councilman Moore noted that the last time we received a grant. Assistant Town Manager Williams noted PARTIF funds, USDA funds, and others are a possibility. It is a matter of focusing and finding the location. Councilwoman Roberson said that we start somewhere and get a plan. Councilman Hines seconded the planning effort if we call it a multipurpose facility. Councilwoman Roberson we all see the need for the facility, let us put the plan on paper, we do not have the land yet, we need 6 acres; someone knows the dimensions, involve ECU partners. Assistant Town Manager Williams said he spoke with a planning professor at ECU and some seniors always looking to do their final project.

Motion made by Councilwoman Roberson and seconded by Councilman Hines to authorize Assistant Town Manager Williams and all necessary staff to proceed with the initial plans for a multipurpose wellness center.

Parks and Recreation Director Johnston stressed the importance to get a piece a property prior to making final plans. If not, property could be gone before ready to move forward with design. Councilwoman Roberson urged the need to move forward. We have had three plans go through here that say we need a facility, we need to use the compressive plan, our community needs and move forward.

Mayor Jackson asked for any further discussion. The motion carried unanimously, 5-0.

Councilman Hines made motion to set aside funds in the budget to purchase land. Manager Parker said we have ways to purchase land. We need to look at ways to fund the complete endeavor. We can identify the revenue sources and needs. Councilman Hines withdrew his motion. Councilwoman Roberson asked if staff would locate a site. Assistant Town Manager Williams noted how fast things are happening. He stated staff could identify a couple of ideal parcels in the area and make sure they meet requirements. In addition, the type of building and site improvement needed. He said the first phase is buying the land, getting foundation, then donation or marrying up funds. Councilman Hines asked staff to identify some spots and start negotiations. Assistant Town Manager Williams willing to seek out participating owners. Manager Parker said staff propose needs that meet council's approval. Councilman Moore last one was eight times more than what council wanted to pay. No additional motion made, staff will proceed on the directive from Council.

REPORTS FROM DEPARTMENT HEADS:

1. Assistant Manager Williams updated on projects currently underway:
 - Fork Swamp Greenway Project-submitted RFQ, due end of month
 - Regional Sewer Pump Station Project-started construction
 - Nobel Canal Drainage Basin Study-contract awarded
 - Water Tank Rehabilitation Project-working on inside and outside
 - NTE Plant Construction Project-well underway
 - Minimum Housing/Code Enforcement-underway
2. Other updates from staff:
 - Planning Director Jones: Southwest Bypass Land Use Plan Update - Open House today, about 70-80 people attended. There will be another input session in June. The Southwest Bypass is about 53% complete. June 2020 is the official completion date.

REPORTS FROM THE TOWN ATTORNEY, MAYOR, AND TOWN COUNCIL, AND TOWN MANAGER:

Attorney Lassiter: No report, we do have a closed session tonight for discussion on Service Areas for Utilities.

Councilman Moore: No comment.

Councilwoman Roberson: Recognize Pam Justice from Southern Bank.

Mayor Pro-Tem Smith: No comment.

Councilman Moyer: Problems with Mill Street down by the Dollar General. The street belongs to the state. Public Works Director Welborn said we had to take out the manhole. Getting the contractor to come back and take care of issue. Councilman Moyer asked about the cemetery on Firetower Road. Town Manager Parker noted that Assistant Town Manager Williams and Public Works Director Welborn have reached out to property owners. Assistant Town Manager Williams contacted owners and not able to sale the property at this point.

Councilman Hines: thank the Chamber for the ribbon cutting at Tyndall Stroud CPAs, P.C. Keep up the good work bringing businesses to Town.

Mayor Jackson: Had a meeting with a couple of men trying to attract an athletic bowl to the area. They are going to Boise, Idaho to propose this effort. The Bowl would be the BBQ Bowl in 2021. Asked to bring before council to be supportive of their efforts. Mayor Pro Tem Smith said he needed to have a little more information. Mayor Jackson stated it would be a huge economic impact on the area and would be at ECU. We may have a hotel by then. Councilman Moyer would like to keep up with the information and share with the Council. Mayor Jackson would like a letter of support. Councilwoman Roberson said if it is good for the region and what happens in Pitt County helps everyone.

Town Manager Parker: No comment.

ANNOUNCEMENTS:

1. Market on the Square has returned! Every Thursday from 4 pm – 8 pm
2. Planning and Zoning Board Meeting – April 19, 2018 – 7 pm – Town Hall Assembly Room
3. Board of Adjustment Meeting – April 20, 2018 – 7 pm – Town Hall Assembly Room

A motion made by Councilman Hines and seconded by Councilwoman Roberson to adjourn into Closed Session. Motion carried unanimously, 5-0.

CLOSED SESSION: NCGS § 143-318.11. (a)(3): To consult with an attorney employed or retained by the public body in order to preserve the attorney-client privilege between the attorney and the public body, which privilege is hereby acknowledged. General policy matters may not be discussed in a closed session and nothing herein shall be construed to permit a public body to close a meeting that otherwise would be open merely because an attorney employed or retained by the public body is a participant. The public body may consider and give instructions to an attorney concerning the handling or settlement of a claim, judicial action, mediation, arbitration, or administrative procedure (Discussion on Service Areas for Utilities).

Motion made by Councilman Moore and seconded by Councilman Hines to adjourn Closed Session. Motion carried unanimously, 5-0.

RETURN TO OPEN SESSION: Motion made by Councilman Moore and seconded by Councilwoman Roberson to return to open session. Motion carried unanimously, 5-0.

Town Manager Parker and Assistant Town Manager Williams presented the following information:



2571 Railroad Street
PO Box 1459
Winterville, NC 28590

Phone: (252) 215-2344
Fax: (252) 215-2450
www.wintervillenc.com

Memorandum

To: Town Council

From: Ben E. Williams, AICP CEP

Date: April 9, 2018

Subject: New Regional Pump Station and Eli's Ridge Pump Station Service Area Delineation

The Town is currently undertaking the financing and construction of a regional sanitary sewer pump station located off Old Tar Road on Pitt County Tax Parcel 83155. The purpose of this pump station is to remove the existing Craft Winds pump station from service and accommodate future development within the Worthington Road, Old Tar Road and Laurie Ellis Road areas. A recently submitted development plan proposed by Bill Clark Homes, Inc. located on Pitt County Tax Parcels 24023, 25886, and 25940 will be constructing a sanitary sewer pump station to serve their subdivision (Eli's Ridge). Town staff has requested the Eli's Ridge pump station be designed with increased wet-well and forcemain capacity to accommodate wastewater flows from future development in the surrounding area. This increased capacity will result in additional costs above those necessary for the initial infrastructure required to serve the Eli's Ridge subdivision.

In order to maximize the requested increased capacity of the pump station located at the Eli's Ridge subdivision and to achieve the intended goal of the regional pump station currently under construction, staff is recommending a delineation be made of the areas south of Worthington Road from which the two subject pump stations will receive wastewater flows.

The following recommendations are made:

All phases of the Eli's Ridge subdivision will be directed to the pump station located within the development. All wastewater flows resulting from development occurring east of Fork Swamp Canal will be directed to the Eli's Ridge pump station where feasible. Approximately 11.5 acres of the northeast portion of Pitt County Tax Parcel # 25758 located south of Worthington Road will be directed to Eli's Ridge pump station.

It is the intent that all remaining areas south of Worthington Road and north of Laurie Ellis Road west of Pitt County Tax Parcel # 25940 be directed to the Town's new regional pump station located at Pitt County Tax Parcel # 83155.

N:\Public\Sanitary Sewer\Memo 20180409 - Regional PS and Elis Ridge PS service area delineation.docx



Motion made by Councilman Moore and seconded by Councilman Hines to the approve the staff recommendation outlined in the memorandum. The motion carried unanimously, 5-0.

ADJOURN: Motion made by Councilman Moore and seconded by Councilwoman Roberson to adjourn regular meeting. Motion carried unanimously, 5-0.

Adopted this the 8th day of October, 2018.

Douglas A. Jackson, Mayor

ATTEST:

Amy P. Barrow, Acting Town Clerk



**Winterville Town Council
April 30, 2018
Budget Progress Meeting Minutes**

The Winterville Town Council met in a Budget Progress Meeting on the above date at 5:30 PM in the Winterville Town Hall Executive Conference Room, with Mayor Douglas A. Jackson presiding. The following were present:

Douglas A. Jackson, Mayor
Mark Smith, Mayor Pro-Tem
Ricky Hines, Councilman
Tony Moore, Councilman
Johnny Moye, Councilman
Veronica Roberson Councilwoman
Terri L. Parker, Town Manager
Ben Williams, Assistant Town Manager
Ryan Willhite, Police Chief
David Moore, Fire Chief
Travis Welborn, Public Works Director
Robert Sutton, Electric Director
Anthony Bowers, Finance Director
Evan Johnston, Parks and Recreation Director
Bryan Jones, Planning Director
Amy P. Barrow, Acting Town Clerk/Executive Staff/Human Resource Assistant

CALL TO ORDER: Mayor Jackson called the meeting to order.

INVOCATION: Councilwoman Roberson gave the Invocation.

WELCOME: Mayor Jackson welcomed everyone to the work session.

APPROVAL OF AGENDA:

Motion made by Mayor Pro Tem Smith and seconded by Councilman Hines to approve the agenda. The motion carried unanimously, 5-0.

ITEMS FOR DISCUSSION: Budget progress update - Town Manager Parker and Finance Director Bowers gave the following presentation:



**FY 2018-2019 Budget Progress Meeting
April 30, 2018
Town Hall Executive Conference Room**

General Fund Revenues:



DRAFT Budget is in the works – anticipate a DRAFT being delivered on May 25th.



FY 2018-2019 Budget Calendar is attached for Council's information.



No proposed Tax change. However, I would urge Council to be cognizant of the need to increase the Town's revenue sources in order to fund the necessary increases in personnel and equipment needed to handle the growth the Town is experiencing.

Current tax rate is \$0.475.



Carolina Benefits is saying the Town should expect an increase of approximately 7% in health insurance premiums for FY 2018-2019. Met Life, the Town's dental insurance carrier has provided information estimating an increase in dental insurance premiums of about 4.0%.



Property Tax budget will be calculated again this year with a 98% collection rate. The present year valuation is \$657,123,318 and the new valuation is \$684,005,711 that would yield an approximate \$111,204 in additional ad valorem revenue.



Sales and Use Tax will be budgeted the same method as we have historically. We are currently expecting an increase of approximately \$50,870 in sales and use tax revenues.



Powell bill estimates are expected to be slightly lower compared to FY 2017-2018 (\$256,303). Revenues are expected to be approximately \$254,854.



Utility Franchise Tax revenues are expected to be slightly lower compared to FY 2017-2018 (\$380,204). Revenues are expected to be approximately \$352,405.



The Building Inspections Department continues to grow with respect to the numbers of inspections conducted each year. We are expecting an increase in revenues of approximately \$23,010.



All other general fund revenues are expected to be flat for the FY 2018-2019 fiscal year.

Enterprise Funds:



Water revenues are expected to increase slightly with an estimated growth rate of 1% showing water sales to be approximately \$1,461,326. This is a slight reduction over this year (\$1,446,858). The Water Fund has a new debt service payment for \$28,869 for the elevated tank rehabilitation project.



Sewer revenues are expected to increase slightly with an estimated growth rate of 1% showing sewer sales to be approximately \$1,910,334. Winterville (who is a member of the Contentnea Metropolitan Sewerage District) is now being charged based on a 100% flow-based way of charging member entities and Winterville's contribution is set to decrease by approximately \$117,000 for FY 2017-2018. The Sewer Fund has an increase in debt service for the regional pump station for \$140,279.



Electric rates remain unknown for FY 2018-2019. Electric revenues are expected to increase slightly with an estimated growth rate of 1% showing electric sales to be approximately \$6,291,423. This is the same estimated revenue amount as FY 2018-2019 The Electric Fund has a new debt service payment for the Electric Line Truck for \$62,959.



Stormwater fees remain unknown. Stormwater growth is expected to be flat at the same 1%; however, stormwater revenues will increase from \$187,307 to \$243,413. This is a result of additional funds related to the ERU audit performed last year. Staff is anticipating recommending a stormwater fee increase of \$2.00 to \$4.00 per ERU.

Other Items to Note:



The Recreation Fund will have debt payments to the General Fund for \$40,000 per year for the next 10 years for the playground equipment. They will also have increased debt service for the new vehicle that were purchased. That additional debt service is for \$19,895. The new fire truck that was purchased will take several more months to construct. As a result, we will not have a new debt service payment on that until next fiscal year. The appropriation for that truck was \$500,000.



TOWN OF WINTERVILLE FY 2018-2019 BUDGET CALENDAR

DATE	DESCRIPTION	TIME	LOCATION
January 22, 2018	Town Council Retreat/ Budget Update Establishment of 2018-2019 Priorities	5:30 p.m.	DEPOT
February 26 th , 2018	Distribution of Budget Worksheets to Mgmt. Team	N/A	TMGR OFFICE
March 30 th , 2018	Management Team Recommendations Due	N/A	TMGR OFFICE
April 30, 2018	Town Council & Manager Progress Meeting	5:30 p.m.	THECR
May 14 th -18 th , 2018	Manager Review w/ Mgmt. Team	N/A	TMGR OFFICE
May 25 th , 2018	Hand delivery of the Recommended Budget	N/A	N/A
May 30 th and May 31 st , 2018	Town Council Budget Work Sessions	6:00 p.m.	DEPOT
June 4 th , 2018	Public Hearing	7:00 p.m.	THAR
June 11 th , 2018	Adoption of the FY 2018- 2019 Budget Ordinance	7:00 p.m.	THAR
July 1 st , 2018	Fiscal Year Begins	N/A	N/A

THAR:
Town Hall Assembly Room
2571 Railroad St.
Winterville, NC 28590

THECR:
Executive Conference Room
2571 Railroad St.
Winterville, NC 28590

WCR:
Winterville Community Room
2571 Railroad St.
Winterville, NC 28590

DEPOT:
Winterville Train Depot
Railroad Street
Winterville, NC 28590

Approved by Council - 1/08/2018
Please NOTE the times of the meetings vary.

Town Manager Parker and Finance Director Bowers went over revenues and trends as noted on the handout.

Councilman Moye asked about the 4% for Met Life, have we checked with anyone else. Town Manager Parker noted we have not gone out to additional; employees can utilize other resources like AFLAC. Councilman Moore asked is Lemon Grass and Mellon Downs included in the revenue. Mayor Pro Tem Smith noted Met Life is the largest provider.

Councilman Moye asked why there is a decrease in Powell Bill. Finance Director Bowers stated there are three contributing factors: economy, population, and street miles. The update of the Census may result in larger numbers. Town Manager Parker noted Powell Bill was on the chopping block a few years ago. Finance Director Bowers said the State sends out the estimate. They have taken action to stabilize the fund. Town Manager Parker noted we get estimates every year. Councilman Moye noted the Town has grown.

Town Manager Parker explained the Enterprise Funds including the following:

- Water Fund debt service is for about 20 years.
- Sewer Fund debt service will get out scheduled increase and previous 20 year increases.
- Electric Fund will get out a cost of study to compare savings as a total utility.
- Stormwater Fund adjustment in billing.

She noted that the Streetscape would be on the water tank painting. Councilwoman Roberson noted the new flags out front that are replacing the old ones. Council Hines asked what ERU means. Staff noted Equivalent Residential Unit. Also noted that the Request for Proposals have been received for the new Fire Truck. They have to build the Fire Truck and we will not make a payment until 2019 (FY2019-2020).

Finance Manager Bowers noted that growth rate is low but some is outside our service area. Timing on development may affect the budget, so we want to be conservative. Town Manager Parker said we are seeing growth but like being conservative.

Councilman Hines asked is the playground equipment is ADA friendly. Parks and Recreation Director Johnston noted that it goes beyond ADA especially the Hillcrest Park equipment due to the open area. Councilman Moye said to make sure we have the equipment on the Fire Truck. Fire Chief Moore said \$120,000 more and trimmed about \$60,000 for air packs and radios. Town Manager Parker has asked for it in the new budget. Town Manager Parker said staff has put things together for Council; it is up to Council if you want to discuss.

Councilman Moore asked about the Cemetery. Assistant Town Manager Williams said he had reached out to some consultants for development and design services. Public Works Director Welborn said we have to relocate a well and move electric for the Cemetery. Councilman Moore asked if we could dress up the area and get a plaque for the clock. Councilwoman Roberson asked if employee benefit numbers would increase in the process. Town Manager Parker responded yes, hard to do.

Councilman Moye asked if we were happy with the money coming into the area to pave the streets. Town Manager Parker said thank the Council and staff for the assistance. Councilman Moore asked if the schedule for Ange Street curb and gutter and resurfacing is a fall completion. Assistant Town Manager Williams stated it is still in the Transportation Improvement Plan. Council Moye asked about the place on Church Street that is dirt and rocks, when will they patch. Public Works Director Welborn said hopefully this week. Town Manager Parker note that DOT communications with staff is better.

Councilman Hines thanked Assistant Town Manager Williams and Public Works Director Welborn for the tour last week. Noted that his next tour is with Electric Utilities Director Sutton, then Police Chief Willhite. Town Manager Parker said the street update has been surprising. Can we answer any additional questions?

ADJOURN: Motion made by Mayor Pro Tem Smith and seconded by Councilwoman Roberson to adjourn regular meeting. Motion carried unanimously, 5-0.

Adopted this the 8th day of October, 2018.

Douglas A. Jackson, Mayor

ATTEST:

Amy P. Barrow, Acting Town Clerk



**Winterville Town Council
June 11, 2018
Regular Meeting Minutes**

The Winterville Town Council met in a Regular Meeting on the above date at 7:00 PM in the Town Hall Assembly Room, with Mayor Douglas A. Jackson presiding. The following were present:

Douglas A. Jackson, Mayor
Mark Smith, Mayor Pro-Tem
Ricky Hines, Councilman
Tony Moore, Councilman
Johnny Moyer, Councilman
Veronica Roberson Councilwoman
Keen Lassiter, Town Attorney
Terri L. Parker, Town Manager
Ben Williams, Assistant Town Manager
Ryan Willhite, Police Chief
David Moore, Fire Chief
Travis Welborn, Public Works Director
Robert Sutton, Electric Director
Anthony Bowers, Finance Director
Evan Johnston, Parks and Recreation Director
Bryan Jones, Planning Director
Mike Weldin, Building Inspector/Code Enforcement Officer
Donald Harvey, Town Clerk

CALL TO ORDER: Mayor Jackson called the meeting to order.

INVOCATION: Councilman Moyer gave the Invocation.

PLEDGE OF ALLEGIANCE: Mayor Jackson led everyone in the Pledge of Allegiance.

WELCOME: Mayor Jackson welcomed the public.

APPROVAL OF AGENDA: Mayor Jackson asked to add Natalie Edwards with Rebuilding Together under Presentations and an additional person has signed up to speak under Public Comment. Manager Parker asked to remove the Introduction of New Employees due to a conflict of schedule.

Motion made by Councilman Moyer and seconded by Mayor Pro-Tem Smith to approve the amended agenda. The motion carried unanimously, 5-0.

INTRODUCTION OF NEW EMPLOYEES:

Norma Holmes, Reserve Police Officer – removed from agenda, unable to attend

PRESENTATIONS:

1. Eric Derstine, Pitt County Horticulture Extension Agent:

Mayor Jackson introduced Mr. Derstine. He gave a presentation that covered numerous topics including the 2018 landscape conference, ornamental, residential, consumer, and commercial landscape agriculture for the county, the farm school, arboretum, periodic classes, active master gardeners, community gardens, and many extension and 4-H activities.

2. Joni Torres, Pitt County Community Gardening Technician:

Mayor Jackson introduced Ms. Torres. She gave a presentation that covered numerous topics including community gardens, community health, and community development. Community gardens started in North Carolina by the Moravians in Winston-Salem. Key benefits relate to community health, community development, and personal development. They create green space, form urban renewal, generate recreation and leisure, foster urban oasis space, and economic development.

They also provide a space for youth education, entrepreneurial development, therapeutic children's garden, and adult enterprise gardens. Making Pitt Fit Community Garden, near the Farmer's Market, works on allotments, provides a children, demonstration and educational garden. Partners include cooperatives, schools, recreation, public health groups, soil and water, planning, and county website. They provide ways to promote use of vacant land, public assistance, and help management from municipalities that have supported community gardens. A variety of organizations can provide oversight flexibility for community gardens.

Councilman Moore noted that there is a tract of land west of South Central High School available. Councilman Hines thought community gardening could enhance the Town.

3. James Youneat, Wayne County Action Group for Economic Solvency, Inc. (WAGES):

Mr. Youneat was unable to attend and Manager Parker asked to reschedule for a future meeting.

4. Natalie Edwards, Rebuilding Together:

Mayor Jackson introduced Ms. Edwards. She gave a presentation that covered numerous topics including critical home repairs, and targeting elderly persons under the Urgent Repair Program (URP). A partnership with the Town has progressed to repair homes using a national checklist involving 25 criteria, including accessibility, handrails, wood rot, plumbing concerns, roof leaks, fire safety, flooring, and carpeting. Partnership, volunteers, Town, Fire Department, Public Works, churches, and many others, provide referrals and assistance when possible. Lack of a basic education is critical. Plans to start working with a local bank and mission group partnerships. Thanks to the Town for your help.

Councilman Moyer asked if rental property is eligible. Ms. Edwards said homeowners, not rental property, must be located in Pitt County, and have the criteria needs. Councilman Hines asked about the waiting list. Ms. Edwards said we now have in 2018; 4-5 are on list.

Councilman Hines asked how many applications received. Town Manager Parker said 12-13 over the last 2 years. Councilman Moyer ask if there was an age criteria. Town Manager Parker said 62 years old. Councilman Hines encouraged board members to help get the word out. Councilwoman Roberson noted that recipients are very thankful. The Town Office accepts applications.

PUBLIC COMMENT: Mayor Jackson read the Public Comment Policy.

1. John Gainey, Dealer's Lane, Winterville, NC 28590: not present
2. Doug Kilian, 326 Bethana Court, Winterville, NC 28590: Mr. Kilian is a member of the Planning and Zoning Board, serving since 2012. He noted the volunteer nature of the Board, approved by Town Council and the hard work required to serve. He spoke primarily to the item of Term Limits for Volunteer Board Members and stated he was opposed to Term Limits for the Volunteer Boards.

CONSENT AGENDA:

Items included in the Consent Agenda:

1. Approval of May 14, 2018 Regular Meeting Minutes
2. 2017-2018 Release and Refund of Taxes
3. Budget Amendment
4. Local Water Supply Plan Approval
5. Reappointment of Board of Adjustment members
6. Ark Consulting Contract Amendment #2

Motion made by Mayor Pro-Tem Smith and seconded by Councilman Hines to approve the consent agenda. The motion carried unanimously, 5-0.

OLD BUSINESS:

1. Street Improvements Project Change Order. Public Works Director Welborn commented and described the needs to formalize all of the changes for the street project. Councilman Moye asked does it meet bid criteria of the original bid of other bidders. Public Works Director Welborn stated that he compared and it is much less, other bidders for the additional would be higher. Change order was result of condition not the Contractor. Mayor Jackson noted that the streets paved right over dirt.

Motion made by Councilman Moore and seconded by Mayor Pro-Tem Smith to approve the Street Improvements Project Change Order. The motion carried unanimously, 5-0.

NEW BUSINESS:

1. Approval of the FY 2018-2019 Budget. Town Manager Parker presented and commented on the FY 2018-2019 Budget Ordinance presented for approval.

**TOWN OF WINTERVILLE
BUDGET ORDINANCE
FISCAL YEAR 2018-2019**

BE IT ORDAINED by the Governing Board of the Town of Winterville, North Carolina:

SECTION 1: It is estimated that the following revenues will be available in the General Fund for the Fiscal year beginning July 1, 2018 and ending June 30, 2019:

Ad Valorem Taxes	\$3,813,025
Other Taxes and Licenses	\$2,491,785
Permits and Fees	\$16,050
Sanitation Fees	\$535,356
Investment Income	\$80,000
Inspections	\$187,550
Miscellaneous Income	\$88,584
Inter-Fund Transfer Services	\$1,106,645
Electric Fund Contribution	\$375,578
EMS Contribution	\$117,883
Fund Balance Appropriation	1,121,154
Debt Proceeds	\$600,000
Total	\$10,533,610

SECTION 2: The following amounts are hereby appropriated in the General Fund for the operation of the Town government and its activities for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

Governing Board	\$79,085
Administration	\$613,359
Finance	716,930
Inspections	309,038
Human Resources	92,025
Information Technology	398,208
Planning Department	\$252,606
Public Buildings	\$768,002
Grounds and Maintenance	79,500
Police Department	\$2,071,095
Fire Department	\$2,104,551
EMS Department	\$117,883
Animal Control	\$8,600
Mosquito Control	\$8,600
Public Works	\$771,819
Sanitation	\$516,500
Non-Departmental	\$1,625,809
	\$10,533,610

SECTION 3: The following revenues will be available in the Recreation Fund for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

Program Fees	\$131,630
Concession Income	\$52,000
<u>General Fund Transfer</u>	<u>\$798,724</u>
	\$982,354

SECTION 4: The following amount is hereby appropriated in the Recreation Fund for operation of the Winterville Recreation Programs during the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>Recreation Department</u>	<u>\$1,057,654</u>
	\$1,057,654

SECTION 5: It is estimated that the following revenues will be available in the Powell Bill Fund for the Fiscal year beginning July 1, 2018 and ending June 30, 2019:

Grant Funding	\$254,855
Fund Balance Appropriation	\$175,145
<u>Interest Income</u>	<u>\$7,000</u>
	\$437,000

SECTION 6: The following amount is hereby appropriated in the Powell Bill Fund for the operation of the Powell Bill Program for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>Powell Bill</u>	<u>\$437,000</u>
	\$437,000

SECTION 7: It is estimated that the following revenues will be available in the Vehicle Replacement Fund for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>General Fund debt service contribution</u>	<u>\$29,239</u>
	\$29,239

SECTION 8: The following amount is hereby appropriated in the Vehicle Replacement Fund for the debt service payment of vehicles during the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

Debt Service Expense	\$28,120
<u>Interest Expense</u>	<u>\$1,119</u>
	\$29,239

SECTION 9: It is estimated that the following revenues will be available in the Home Housing Program Fund for the Fiscal year July 1, 2018 and ending June 30, 2019:

<u>General Fund Contribution</u>	<u>\$20,000</u>
	\$20,000

SECTION 10: The following amount is hereby appropriated in the Home Housing Program Fund for the operation of the Urgent Repair and Housing Program for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>Contracted Service</u>	<u>\$20,000</u>
	\$20,000

SECTION 11: It is estimated that the following revenues will be available in the Electric Enterprise Fund for the Fiscal year July 1, 2018 and ending June 30, 2019:

Sales and Service	\$6,318,378
Debt Proceeds	\$519,000
<u>Retained Earnings</u>	<u>\$650,000</u>
	\$8,030,830

SECTION 12: The following amount is hereby appropriated in the Electric Enterprise Fund for the operation of the electric utility for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>Electric Department</u>	<u>\$8,030,830</u>
	\$8,030,830

SECTION 13: It is estimated that the following revenues will be available in the Water Enterprise Fund for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

Sales and Service	\$1,512,877
<u>Retained Earnings</u>	<u>\$97,919</u>
	\$1,610,796

SECTION 14: The following amount is hereby appropriated in the Water Enterprise Fund for the operation of the water utility for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>Water Department</u>	<u>\$1,610,796</u>
	\$1,610,796

SECTION 15: It is estimated that the following revenues will be available in the Sewer Enterprise Fund for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

Sales and Service	\$2,437,909
<u>Retained Earnings</u>	<u>\$75,000</u>
	\$2,512,909

SECTION 16: The following amount is hereby appropriated in the Sewer Enterprise Fund for the operation of the sewer utility for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>Sewer Department</u>	<u>\$2,512,909</u>
	\$2,512,909

SECTION 17: It is estimated that the following revenues will be available in the Stormwater Fund for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>Sales and Service</u>	<u>\$486.832</u>
	\$486,832

SECTION 18: The following amount is hereby appropriated in the Stormwater Fund for the operation of the Storm Water utility for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019:

<u>Storm Water Department</u>	<u>\$486.832</u>
	\$486,832

SECTION 19: There is hereby levied a tax at the rate of forty-seven and one-half cents (\$.475) per one hundred dollars (\$100) valuation of property as listed for taxes as of January 1, 2018 for the purpose of raising the revenue listed as "Ad Valorem Taxes" in the General Fund in Section 1 of this ordinance. This rate is based on a total estimated valuation of property for the purposes of taxation of \$708,694,697 and an estimated rate of collection of 98% for real and personal property, 100% for vehicles.

SECTION 20: The Town Manager (Budget Officer) is hereby authorized to transfer appropriations as contained herein under the following conditions:

- a. May amend line item appropriations within any Fund as long as the total appropriation of that Fund is not changed. A record of any such amendments shall be maintained by the Finance Director for public inspection.
- b. May not transfer any amounts between funds, unless approved by the Governing Board through an amendment to the Budget Ordinance.

SECTION 21: The attached Fee and Utility Rate Schedules are hereby adopted for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019.

SECTION 22: The attached Pay and Classification Plan is hereby adopted for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019.

SECTION 23: The Vehicle Replacement Fund does not include a listing of vehicles scheduled to be purchased due to the fact that purchases are being suspended for the Fiscal Year beginning July 1, 2018 and ending June 30, 2019.

SECTION 24: Copies of the Budget Ordinance shall be furnished to the Town Clerk to the Governing Board and to the Town Manager (Budget Officer) to be kept on file by them for their direction in the disbursement of funds.

Adopted this 11th day of June, 2018.

Douglas A. Jackson, Mayor

Attest:

Don Harvey, Town Clerk

Motion made by Councilman Hines and seconded by Councilman Roberson to approve the FY 2018-2019 Budget. The motion carried 4-1, Councilman Moore opposed.

Town Manager Parker said she wanted to thank Council and staff for all the hard work to get the budget prepared and finalized.

OTHER AGENDA ITEMS:

1. Councilwoman Roberson said for the record, that the Town supports PCGSL through use of our fields and recreation staff helping them with labor and assistance during tournaments.
2. Councilwoman Roberson said that today a mobile home issue arose. The Town needs to make sure we update plans to deal with conflicts over mobile home. Town Manager Parker said the new plan is in the budget. Councilman Moye asked if the mobile home meets criteria for that area. Town Manager Parker said yes.

Councilwoman Roberson said, I live there and mobile homes allowed. Councilman Hines are we inclusive or exclusive, modest home today is \$160,000, everybody needs to live within his or her means. You have to live where you can afford. Councilman Moye noted the value of property, market value important. Councilwoman Roberson said zoning like near like, sizes similar. Increase taxes to Town, tired of belittlement. Councilman Moye asked can be done in zone. Planning Director Jones said single-family stick built and doublewide with foundation. Town Manager Parker-much work on last plan since 1980, Councilwoman Roberson noted you could replace.

ITEMS FOR FUTURE AGENDAS/FUTURE WORK SESSIONS:

1. Councilman Hines ask that Pitt County food council, growers come to the August meeting.

REPORTS FROM DEPARTMENT HEADS:

1. **Update on Projects Currently Underway:** Assistant Manager Williams updated projects currently underway:
 - Regional Sewer Pump Station Project: pump station, street closings, some time until paving is realized.
 - Nobel Canal Drainage Basin Study: engineer contract ready construction to follow.
 - Water Tank Rehabilitation Project: near completion, cleanup and lights. Mayor Pro-Tem Smith noted that pocket park sign needs replacement.
 - NTE Plant Construction Project: plant generating power.
 - Minimum Housing/Code Enforcement: minimum housing list moving forward.

2. **Updates from other staff:**
 - Parks and Recreation Director Johnston noted that ponds at park work, they go through stages, treatment on fields runs into ponds, fish in ponds, try to keep up with a variety of ways, algae messes up fountains.
 - Public Works Director Welborn briefed on street progress, most likely extend until other projects are completed to prevent damage. Tabard Road hopefully complete shortly. Councilman Hines interested in progress. Mayor Pro-Tem Smith noted the dip is due to settlement.
 - Town Clerk Harvey gave the following announcements:
 1. Market on the Square has returned! Every Thursday from 4 pm – 8 pm.
 2. Fiscal Year 2018-2019 begins July 1, 2018.
 3. Independence Day Holiday, Town Offices Closed – Wednesday, July 4, 2018
 4. Golden Age Senior Drop-In Program “Shop-Til-You-Drop,” Thursday, June 14, 2018 – Smithfield Outlets, Smithfield, NC.
 5. Movie in the Park (Despicable Me) – Friday, June 15, 2018 – Sundown – Winterville Recreation Park.
 6. Glow Party – Friday, July 13, 2018 – 8:00 pm -10:00 pm (Ages 13-19) – Winterville Recreation Park.
 7. National Night Out/Back to School Bash, August 7, 2018 – 6:00 pm – 8:30 pm – Winterville Recreation Park.
 - Electric Director Sutton shared the dates for the ElectriCities Annual Conference, August 20 – 22, 2018 in Asheville, NC

REPORTS FROM THE TOWN ATTORNEY, MAYOR, AND TOWN COUNCIL, AND TOWN MANAGER:

Attorney Lassiter: Code Enforcement Officer Weldin, sent minimum housing cases in process, no other comments, closed session upcoming.

Councilman Moore: No Comment.

Councilwoman Roberson: Addressed Mr. Kilian, thanked him for his service on the Planning and Zoning Board.

Mayor Pro-Tem Smith: No Comment.

Councilman Moyer: Reedy Branch Cemetery grass condition, Electric Director Sutton sprayed noxious weeds to kill will seed to replace.

Councilman Hines: Sorry, for missing Volunteer Banquet appreciate Mr. Kilian for service.

Mayor Jackson: Thanked EMS for their service.

Manager Parker: Thanks to all volunteers, staff, Council, and Attorney Lassiter.

A motion made by Councilman Moye and seconded by Mayor Pro-Tem Smith to adjourn into Closed Session. Motion carried unanimously, 5-0.

CLOSED SESSION: NCGS § 143-318.11. (a)(3):

To consult with an attorney employed or retained by the public body in order to preserve the attorney-client privilege between the attorney and the public body, which privilege is hereby acknowledged. General policy matters may not be discussed in a closed session and nothing herein shall be construed to permit a public body to close a meeting that otherwise would be open merely because an attorney employed or retained by the public body is a participant. The public body may consider and give instructions to an attorney concerning the handling or settlement of a claim, judicial action, mediation, arbitration, or administrative procedure. (Discussion on Service Areas for Utilities).

A motion made by Councilman Moore and seconded by Councilman Hines to adjourn Closed Session. Motion carried unanimously, 5-0.

RETURN TO OPEN SESSION: A motion made by Councilman Hines and seconded by Councilman Moore to return to open session. Motion carried unanimously, 5-0.

Motion made by Mayor Pro Tem Smith and seconded by Councilman Hines to accept the \$11,000 lawsuit settlement with Suddenlink. The motion carried unanimously, 5-0.

ADJOURN: Motion made by Councilman Hines and seconded by Mayor Pro Tem Smith to adjourn the Regular Meeting. Motion carried unanimously, 5-0.

Adopted this the 8th day of October, 2018.

Douglas A. Jackson, Mayor

ATTEST:

Donald Harvey, Town Clerk



**Winterville Town Council
August 13, 2018
Regular Meeting Minutes**

The Winterville Town Council met in a Regular Meeting on the above date at 7:00 PM in the Town Hall Assembly Room, with Mayor Douglas A. Jackson presiding. The following were present:

Douglas A. Jackson, Mayor
Mark Smith, Mayor Pro-Tem
Ricky Hines, Councilman
Tony Moore, Councilman
Johnny Moye, Councilman
Veronica Roberson Councilwoman
Keen Lassiter, Town Attorney
Terri L. Parker, Town Manager
Ben Williams, Assistant Town Manager
Ryan Willhite, Police Chief
David Moore, Fire Chief
Travis Welborn, Public Works Director
Robert Sutton, Electric Director
Evan Johnston, Parks and Recreation Director
Bryan Jones, Planning Director
Donald Harvey, Town Clerk

CALL TO ORDER: Mayor Jackson called the meeting to order.

INVOCATION: Councilman Moye gave the Invocation.

PLEDGE OF ALLEGIANCE: Mayor Jackson led everyone in the Pledge of Allegiance.

WELCOME: Mayor Jackson welcomed the public.

APPROVAL OF AGENDA:

Motion made by Councilman Hines and seconded by Councilwoman Roberson to approve the agenda. The motion carried unanimously, 5-0.

INTRODUCTION OF NEW EMPLOYEES:

1. Jonathan Bryant, Police Officer.
2. Norma Holmes, Reserve Police Officer.
3. Durwin Lamb, Police Officer.
4. Jonathan Harrell, Police Officer.
5. William Ellis, Police Officer.
6. Ian McLeod, Parks and Recreation Program Supervisor.

PRESENTATIONS:

1. Winterville Economic Development Plan Update - Lee Padrick, Chief Economic Development Planner, Northeast Prosperity Zone, North Carolina Department of Commerce.

We provide economic services, looked at existing 2013 plan, and Town plan is still very relevant. Look at a different level; develop a vision statement, and an economic positioning statement. We develop goals, objectives and meet with committee three times. Hone in on unique, specific goals to accomplish.

Councilwoman Roberson stated Mid-East Commission does regional planning. A comprehensive plan to identify goals that the Town can control. Town Manager Parker said we want to find a fit for the Town. Mr. Padrick noted funding efforts available. Councilwoman Roberson asked about regional and local plans. Town Manager Parker said this is a part of the efforts to help the Town.

Motion made by Mayor Pro Tem Smith and seconded by Councilman Hines to approve the memorandum understanding. The motion carried unanimously, 5-0.

2. Weatherization Assistance - Youneat James, Wayne County Action Group for Economic Solvency, Inc.

Mr. James talked about heating and air conditioning and weatherization, to lower energy consumption. This is not a repair program; they do test for lead, asbestos, and harmful gases. Homeowner must fall within certain poverty income guidelines. Barbie Thompson, well trained in the field, will be helping. Not included in the program are lead, asbestos removal and excess floor and roof repairs.

Councilman Hines asked if the energy provider, Duke Progress Energy provides additional items, like appliances. Councilwoman Roberson said she has distributed applications and many coming back. Mr. James said they have done five homes including air conditioning units. Councilman Hines asked to keep Council updated on the status of the program. Mr. James noted that households be served later if not now. Councilman Hines renters can participate. USDA may be able to help others. Town Manager Parker said URP program could help those 62 years and older. Mayor Jackson asked if construction was eligible. Mr. James said we test home to determine safety first. Councilwoman Roberson noted we have multiple applications, especially for seniors.

3. Child Passenger Safety Program - Ellen Walston, MSW, ACSW, LCSW, Injury Prevention Program Coordinator at the Eastern Carolina Injury Prevention Program at Vidant Medical Center.

Ms. Walston thanked Fire Chief Moore and Town Manager Parker for the location of check in place at the fire station. The Program allows people to purchase a car seat, please spread the word. Child Passenger Safety Diversion Program, if you get a child safety ticket, you can take a class to dismiss the ticket. Councilman Hines asked if there is a cost for the seats. Ms. Walston said the convertible seat is \$60, the combination seat \$60, and high back booster seats \$30.

PUBLIC COMMENT: Mayor Jackson read the Public Comment Policy.

1. Faris Dixon, Attorney, Greenville, NC - running for District Attorney in Pitt County. He noted that drug court is too small, in addition, we need a mental health court and we have many drug issues especially since the juvenile age went from 18 down to 16.

2. Glenn Johnson, Winterville, NC - comments and concerns about local young adults. He is meeting with local young adults about employment issues and being respectful to help the community. What is the difference in being successful and significant and being rich or wealthy?
3. Doug Kilian, Winterville, NC - thanks to Parks and Recreation for controlling the poison ivy at the park trails. He is concerned with leftover sand under the water tank. The park sign at the water tank needs improvement.

CONSENT AGENDA:

1. Approval of the following sets of Council Meeting Minutes:
 - ✓ September 11, 2017 Regular Meeting Minutes
 - ✓ October 9, 2017 Regular Meeting Minutes
 - ✓ November 13, 2017 Regular Meeting Minutes
 - ✓ December 11, 2017 Regular Meeting Minutes
 - ✓ January 8, 2018 Regular Meeting Minutes
 - ✓ January 23, 2018 Vision Setting Meeting
 - ✓ February 12, 2018 Regular Meeting Minutes
 - ✓ March 12, 2018 Regular Meeting Minutes
2. Watermelon Festival Parade Permit – August 25, 2018 – 10 am.
3. Approval of Request from the Winterville Watermelon Festival Committee to Limit the use of the Parking lot at the Winterville Recreation Park, and Request a Change in Traffic Patterns from August 22th-25th, 2018 in support of the 2018 Watermelon Festival.
4. Approval of Request from the Watermelon Festival Committee to Suspend the Winterville Park Hours Limitation for August 22th-25th, 2018.
5. Approval of Request from the Watermelon Festival Committee to Grant and exemption from the Noise Ordinance application and restrictions the ordinance may entail for Festival concerts or other associated festival events to include any Administration Fee associated with associated permit application.
6. Approval of Request from the Winterville Watermelon Festival Committee for the Placement of Signs and Banners on Town Property and Public Right-of-Ways.
7. Approval of Request from the Winterville Watermelon Festival Committee for the usage of the Parks and Recreation Bathroom facilities from August 22, 2017 to August 25, 2018.
8. Budget Amendment.
9. Reappointment of Members to Stormwater Committee.
10. Capital Project Budget Ordinance for the Chapman Street Culvert Replacement Project.

Motion made by Mayor Pro Tem Smith and seconded by Councilman Hines to approve the consent agenda. The motion carried unanimously, 5-0.

Councilwoman Roberson noted a vacancy on the Stormwater Committee, she encouraged citizens to help and apply.

OLD BUSINESS:

1. NCDOT – Old Tar Road Widening Sidewalks: Assistant Town Manager Williams

In February 2018, Council approved the cost sharing of sidewalk improvements along the Old Tar Road corridor in conjunction with the upcoming NCDOT widening project. The original project included 5-foot

sidewalks on both sides of the corridor. Town staff requested evaluating the installation of an 8-foot sidewalk on the east side of Old Tar Road. NCDOT and their consultant confirmed the additional sidewalk can be located within the existing/proposed right-of-way and would not require additional right-of-way acquisition. As always, the Town has a cost-share of 20% of the construction cost of the sidewalk along the corridor. One hundred percent of the cost for additional work beyond the proposed 5-foot wide sidewalk (betterments) is the Town's responsibility. During the February meeting, the estimated cost for the Town provided by NCDOT was \$127,629. Based on the updated costs and quantities, the estimate provided by NCDOT in the attached Municipal Agreement is \$131,184. As stated during the February meeting and included in Section 10.d of the Agreement, upon completion of the project, NCDOT will invoice the Town for the Town's share of the actual costs of the betterments. Request authorization to execute agreement with NCDOT.

Motion made by Councilman Hines and seconded by Mayor Pro Tem Smith to authorize the execution of the agreement. The motion carried unanimously, 5-0.

NEW BUSINESS:

1. 2007 Jet Vac Truck - Declaration as Surplus and Approval to Sell to the Town of Grifton. Public Works Director Welborn

The Town is purchasing a new Vac Con Sewer Truck in the current fiscal year. Staff anticipates arrival of the new truck by the end of August. Staff proposes to declare the current truck (VIN 2FZAATDC47AY09686) as surplus. The Town of Grifton does not currently have a Vac Truck and has made an offer of \$82,500 for the Town's current truck. Staff had budgeted income of \$80,000 for the sale of its current truck in the current budget so the amount offered by Grifton is slightly above that. Grifton has proposed to pay a \$15,500 deposit once Council approves the sale, and pay another \$8,000 at the time they take possession of the truck. The remaining balance will be four (4) equal installments of \$14,750 per year over the next four fiscal years (starting in FY 2019-2020). The Town Attorney will draft an Agreement prior to the sale requiring that the Town of Grifton provide proof of insurance on the truck for the duration of the payments. The Town of Winterville would not relinquish the old truck until the new truck has arrived.

Selling the truck to the Town of Grifton would help strengthen the Town's position in case of emergency as the Town of Grifton could provide emergency backup with this truck in the event that the Town ever needed it. It is common for the Towns of Ayden, Grifton, and/or Winterville to request assistance from the other Towns with specialty equipment such as Vac Trucks. \$80,000 was budgeted as income in the current fiscal year for the sale of this truck. Only \$23,500 realized this fiscal year, the rest of the balance spread out over four (4) years. Request Declaration of Surplus of truck and approval of sale to Town of Grifton for \$82,500 upon arrival of Town's new truck.

**Resolution Approving Conveyance of Property to
Another Unit of Government in North Carolina**

Pursuant to G.S. 160A-274

Whereas, the Town of Winterville owns a 2007 Vac Con Sewer Truck; and

Whereas, North Carolina General Statute § 160A-274 authorizes a governmental unit in this state to exchange with, lease to, lease from, sell to, or purchase from any other governmental unit any interest in real or personal property upon such terms and conditions as the governmental unit deems wise, with or without consideration; and

Whereas, the Town of Winterville has determined that it is in the best interest of the Town to convey the 2007 Vac Con Sewer Truck VIN # 2FZAATDC47AY09686 to The Town of Grifton, and deems it wise to do so for \$82,500.

Therefore, The Winterville Town Council Resolves That:

The Town of Winterville hereby conveys to the Town of Grifton the following property:
2007 Vac Con Sewer Truck VIN # 2FZAATDC47AY09686.

The property herein described shall be conveyed for \$82,500.

The Mayor of the Town of Winterville is authorized to execute all documents necessary to convey the property in the manner authorized by this Resolution.

Approved this 13th day of August, 2018.

By: _____
Douglas A. Jackson, Mayor

By: _____
Donald Harvey, Town Clerk

SEAL

Motion made by Councilman Moore and seconded by Mayor Pro Tem Smith to approve the resolution of conveyance. The motion carried unanimously, 5-0.

2. Approval of Contract to Purchase Aerial Platform Truck for the Fire Department through HGAC-EOne.
Fire Chief Moore

As directed by Council, Staff has worked to develop a specification for the new platform truck provided for in the current budget. The Town received the competitive bids through the HGACBuy cooperative purchasing program to gain the most cost competitive bids. \$1,043,762 with \$543,762 coming from the General Fund and the balance (\$600,000) financed. Staff requests that Council authorize the Town Manager to sign the Contract to participate and purchase the fire engine.

FINAL



**INTERLOCAL CONTRACT
FOR COOPERATIVE PURCHASING**

ILC
No.: _____
Permanent Number assigned by H-GAC

THIS INTERLOCAL CONTRACT ("Contract"), made and entered into pursuant to the Texas Interlocal Cooperation Act, Chapter 791, Texas Government Code (the "Act"), by and between the Houston-Galveston Area Council, hereinafter referred to as "H-GAC," having its principal place of business at 3555 Timmons Lane, Suite 120, Houston, Texas 77027, and * Town of Winterville, North Carolina, a local government, a state agency, or a non-profit corporation created and operated to provide one or more governmental functions and services, hereinafter referred to as "End User," having its principal place of business at * 2571 Railroad Street, Winterville NC, 29590

WITNESSETH

WHEREAS, H-GAC is a regional planning commission and political subdivision of the State of Texas operating under Chapter 391, Texas Local Government Code; and

WHEREAS, pursuant to the Act, H-GAC is authorized to contract with eligible entities to perform governmental functions and services, including the purchase of goods and services; and

WHEREAS, in reliance on such authority, H-GAC has instituted a cooperative purchasing program under which it contracts with eligible entities under the Act; and

WHEREAS, End User has represented that it is an eligible entity under the Act, that its governing body has authorized this Contract on * 08/13/2018 (Date), and that it desires to contract with H-GAC on the terms set forth below;

NOW, THEREFORE, H-GAC and the End User do hereby agree as follows:

ARTICLE 1: LEGAL AUTHORITY

The End User represents and warrants to H-GAC that (1) it is eligible to contract with H-GAC under the Act because it is one of the following: a local government, as defined in the Act (a county, a municipality, a special district, or other political subdivision of the State of Texas or any other state), or a combination of two or more of those entities, a state agency (an agency of the State of Texas as defined in Section 771.002 of the Texas Government Code, or a similar agency of another state), or a non-profit corporation created and operated to provide one or more governmental functions and services, and (2) it possesses adequate legal authority to enter into this Contract.

ARTICLE 2: APPLICABLE LAWS

H-GAC and the End User agree to conduct all activities under this Contract in accordance with all applicable rules, regulations, and ordinances and laws in effect or promulgated during the term of this Contract.

ARTICLE 3: WHOLE AGREEMENT

This Contract and any attachments, as provided herein, constitute the complete contract between the parties hereto, and supersede any and all oral and written agreements between the parties relating to matters herein.

ARTICLE 4: PERFORMANCE PERIOD

The period of this Contract shall be for the balance of the fiscal year of the End User, which began * 07/01/2018 and ends * 06/30/2019. This Contract shall thereafter automatically be renewed annually for each succeeding fiscal year, provided that such renewal shall not have the effect of extending the period in which the End User may make any payment due an H-GAC contractor beyond the fiscal year in which such obligation was incurred under this Contract.

ARTICLE 5: SCOPE OF SERVICES

The End User appoints H-GAC its true and lawful purchasing agent for the purchase of certain products and services through the H-GAC Cooperative Purchasing Program. End User will access the Program through HGACBuy.com and by submission of any duly executed purchase order, in the form prescribed by H-GAC to a contractor having a valid contract with H-GAC. All purchases hereunder shall be in accordance with specifications and contract terms and pricing established by H-GAC. Ownership (title) to products purchased through H-GAC shall transfer directly from the contractor to the End User.

(over)

ARTICLE 6: PAYMENTS

H-GAC will confirm each order and issue notice to contractor to proceed. Upon delivery of goods or services purchased, and presentation of a properly documented invoice, the End User shall promptly, and in any case within thirty (30) days, pay H-GAC's contractor the full amount of the invoice. All payments for goods or services will be made from current revenues available to the paying party. In no event shall H-GAC have any financial liability to the End User for any goods or services End User procures from an H-GAC contractor.

ARTICLE 7: CHANGES AND AMENDMENTS

This Contract may be amended only by a written amendment executed by both parties, except that any alterations, additions, or deletions to the terms of this Contract which are required by changes in Federal and State law or regulations are automatically incorporated into this Contract without written amendment hereto and shall become effective on the date designated by such law or regulation.

H-GAC reserves the right to make changes in the scope of products and services offered through the H-GAC Cooperative Purchasing Program to be performed hereunder.

ARTICLE 8: TERMINATION PROCEDURES

H-GAC or the End User may cancel this Contract at any time upon thirty (30) days written notice by certified mail to the other party to this Contract. The obligations of the End User, including its obligation to pay H-GAC's contractor for all costs incurred under this Contract prior to such notice shall survive such cancellation, as well as any other obligation incurred under this Contract, until performed or discharged by the End User.

ARTICLE 9: SEVERABILITY

All parties agree that should any provision of this Contract be determined to be invalid or unenforceable, such determination shall not affect any other term of this Contract, which shall continue in full force and effect.

ARTICLE 10: FORCE MAJEURE

To the extent that either party to this Contract shall be wholly or partially prevented from the performance within the term specified of any obligation or duty placed on such party by reason of or through strikes, stoppage of labor, riot, fire, flood, acts of war, insurrection, accident, order of any court, act of God, or specific cause reasonably beyond the party's control and not attributable to its neglect or nonfeasance, in such event, the time for the performance of such obligation or duty shall be suspended until such disability to perform is removed; provided, however, force majeure shall not excuse an obligation solely to pay funds. Determination of force majeure shall rest solely with H-GAC.

ARTICLE 11: VENUE

Disputes between procuring party and Vendor are to be resolved in accord with the law and venue rules of the State of purchase.

THIS INSTRUMENT HAS BEEN EXECUTED IN TWO ORIGINALS BY THE PARTIES HERETO AS FOLLOWS:

*** Town of Winterville**

Name of End User (local government, agency, or non-profit corporation)

*** PO Box 1459**

Mailing Address

* Winterville, NC 28590

City State ZIP Code

*By:

Signature of chief elected or appointed official

*** Terri L. Parker, Town manager 08/14/2018**

Typed Name & Title of Signatory

Date

Houston-Galveston Area Council

3555 Timmons Lane, Suite 120, Houston, TX 77027

By: _____
Executive Director

Attest: _____
Manager

Date: _____

**Denotes required fields*

rev. 03/11

162

Motion made by Councilman Moore and seconded by Councilman Roberson to approve the purchase of the platform truck. The motion carried unanimously, 5-0.

3. Award of Financing for Fire Trucks – Engine (FY 17-18) and Aerial Platform (FY 18-19). Finance Director Bowers

The Town Council has approved the purchase of two pieces of fire apparatus. The E-One Pumper was in last fiscal year's budget for \$513,000. The Council also approved the purchase of an Aerial Platform Truck in the 2018-2019 budget. The budget allowed for \$600,000 of the funds to come from financing, and the remainder of the budget of \$500,000 was to come from Fund Balance. We received quotes from five lending institutions. Southern Bank and Trust was the low bidder with a rate of 2.73% for both pieces of equipment. We also discussed lending options with USDA and the current rate was for 3.875%. However, they only finance at a minimum of 20 years. Historically the Town has not financed vehicles and equipment over 7 years. We are recommending accepting Southern Bank's proposal for both pieces of equipment with the 5-year term for the pumper and a 7-year term for the Aerial Platform Truck. Annual debt service payments for: Pumper \$116,644. Aerial \$102,094. Staff requests approval of the Financing Agreement as recommended.

FINANCIAL

Resolution Approving Financing Terms

WHEREAS: The Town of Winterville (the "Town") has previously determined to undertake a project for the financing of a E-One Fire Pumper truck, a 2019 Aerial Platform Truck, and the Finance Officer has now presented a proposal for the financing of such equipment.

BE IT THEREFORE RESOLVED, as follows:

1. The Town hereby determines to finance the Project through Southern Bank and Trust Company, in accordance with the proposal dated October 27th, 2017. The amount financed shall not exceed 1,131,171.00, the annual interest rate (in the absence of default or change in tax status) shall not exceed 2.73%, and the financing term shall not exceed five (5) years for the E-One Pumper and seven (7) years for Aerial Platform truck. There will be two separate amortization schedules. One for each piece of apparatus.
2. All financing contracts and all related documents for the closing of the financing (the "Financing Documents") shall be consistent with the foregoing terms. All officers and employees of the Town are hereby authorized and directed to execute and deliver any Financing Documents, and to take all such further action as they may consider necessary or desirable, to carry out the financing of the Project as contemplated by the proposal and this resolution.
3. The Finance Officer is hereby authorized and directed to hold executed copies of the Financing Documents until the conditions for the delivery of the Financing Documents have been completed to such officer's satisfaction. The Finance Officer is authorized to approve changes to any Financing Documents previously signed by Town officers or employees, provided that such changes shall not substantially alter the intent of such documents or certificates from the intent expressed in the forms executed by such officers. The Financing Documents shall be in such final forms as the Finance Officer shall approve, with the Finance Officer's release of any Financing Document for delivery constituting conclusive evidence of such officer's final approval of the Document's final form.
4. The Town shall not take or omit to take any action the taking or omission of which shall cause its interest payments on this financing to be includable in the gross income for federal income tax purposes of the registered owners of the interest payment obligations. The Town hereby designates its obligations to make principal and interest payment under the Financing Documents as "qualified tax-exempt obligations" for the purpose of the Internal Revenue Code Section 265(b)(3).
5. All prior actions of Town officers in furtherance of the purposes of this resolution are hereby ratified, approved and confirmed. All other resolutions (or parts thereof) in conflict with this resolution are hereby repealed, to the extent of the conflict. This resolution shall take effect immediately.

Approved this 13th day of August, 2018.

By: _____
Douglas A. Jackson, Mayor

By: _____
Don Harvey, Town Clerk

SEAL

Motion made by Councilman Moore and seconded by Councilman Moye to approve the financing agreement. The motion carried unanimously, 5-0.

PUBLIC COMMENT: Mayor Jackson.

1. Mario E. Perez, Greenville, NC – newest District Court Judge, since May. He talked about his role as a judge in Pitt County and having worked in Pitt County for over 20 years.

NEW BUSINESS:

4. Mellon Downs - Lots 19, 21, 25, 40, 41, 45, 47, 49, 50, 52, 57, 73, 74, 75, 83 and 85: Instruct the Town Clerk to Investigate the Sufficiency of Said Petitions for Annexation. Planning Director Jones.

Motion made by Councilman Moore and seconded by Councilwoman Roberson to instruct the Town Clerk to investigate the sufficiency of said petitions for annexation. The motion carried unanimously, 5-0.

Councilman Hines asked if we needed all the lots, Attorney Lassiter stated eventually. Councilman Hines asked what if not all lots agree. Attorney Lassiter said we could turn off all Town services. Town Manager Parker no deadline set yet, now at the encouraging stage.

5. 2017 Street Improvements Project – Addition of Vernon Ave. Patching. Public Works Director Welborn

The condition of Vernon Avenue between Drexel Lane and Cooper Street has deteriorated rapidly since the harsh weather the Town experienced this winter. Due to its condition and the need for immediate repair, staff proposes to change order the repair into the current street improvements project. To remove the existing asphalt and subgrade to a depth of 10-inches and replace with 8-inches of new stone and 2-inches of asphalt the cost will be approximately \$48,068.00.

The estimated cost of approximately \$10,000.00 to undercut approximately one-half of the street subgrade a depth of 24-inches if unsuitable soils encountered. There is likely to be a small amount of contingency money left when the current project is complete barring any unforeseen circumstances at Chapman Street. There is also \$100,000.00 in the current budget year approved for resurfacing.

A combination of these funds would cover the cost of this additional work. The Contractor has agreed to perform the additional work at the contract unit prices as well. Additionally, there may be a small increase in the engineer's fees for construction administration, as the contract will need to extend for the additional work.

Due to the NCDOT Boyd Street project, the contract will need to extend regardless of Vernon Ave. due to staff wanting to avoid issues with the NCDOT contractor damaging new asphalt on Chapman Street. Funds for the additional work and any additional Engineering fees are available in the current project contract and the current fiscal years approved budget. Request approval of Proposed Change Order to Patch Vernon Avenue from Drexel Lane to Cooper Street.

Councilman Moye asked if this work was on the original schedule. Public Works Director Welborn stated no.

Motion made by Mayor Pro Tem Smith and seconded by Councilman Moore to approve the proposed change order. The motion carried unanimously, 5-0.

OTHER AGENDA ITEMS:

1. Discussion about Future of Winterville Post Office/Post Office Noise – Councilman Moore.

Town Manager Parker noted that staff had a meeting with Post Office staff. She explained that the Post Office has a contract with Amazon for approximately an additional 5,000 packages a day that have generate noise complaints to the Town. The Post Office as we know is a Federal agency and difficult to work with. They have 8 years left on their lease. They are looking to modify the building to help the situation and are willing to work with the Town within the constraints they have. Fire Chief Moore conducted the required inspection of the tent last year.

Councilwoman Roberson noted that the Post Office worked with Winterville Court to place cluster boxes on location for their mail. Town Manager Parker noted moving forward, the Post Office require developments have cluster boxes. Councilman Moye asked can the Amazon packages move off-site and can the noise ordinance help. Town Manager Parker noted that the noise ordinance does not apply to government activities.

Councilman Moore questioned about the lease period and that the building is too small. Council Moore has reached out to Senator Thom Tillis office. They are investigating some of the carriers and poor service in the area. Councilwoman Roberson noted that when the Post Office located, no homes were there. Councilman Moye said Amazon should help. The location is good; however, the activities disturb the neighbors. Councilwoman Roberson ask if we could send a letter to help with owner for any modifications.

2. Modular and Mobile Homes and where allowed – Councilman Moore.

Councilman Moore noted we condemned a house on Academy Street, what will happen to that house. Attorney Lassiter said that we implement the ordinance, write letter, however, the process is long. Councilman Moore asked what zones allow modular homes. Planning Director Jones noted that zones R-6 or AR with a conditional use permit allow modular homes.

3. Programs offered for Girls versus Boys – Councilman Moore.

Councilman Moore noted that two teams from here participated in tournaments last week. Over \$17,000 was collected to support those teams. He asked how many girls the Town has participating. Parks and Recreation Director Johnston noted twenty-five percent of the population for specific activities. Councilman Moore do we compensate A.G. Cox for use of their field. Parks and Recreation Director Johnston noted we help with costs to maintain.

Councilman Hines did vote for the donation, to clear the record. Councilman Moye, we need more programs for the girls. Councilman Hines said the multi-use facility would help, many programs would add activities.

Councilman Moore ask if we could use the A.G. Cox gym at night and summer. Parks and Recreation Director Johnston noted community schools and recreation handles those activities. Councilman Moore ask to look for windows of opportunity. Councilman Moye said there is nothing like our own facility. Councilwoman Roberson said that previously youth and college students ran programs. Mayor Jackson said there is no comparison, we are much better now. Glenn Johnson made the comment that programs for both boys and girls together, equal opportunities. Parks and Recreation Director Johnston noted that Town programs are open all.

4. Police Officers at local Schools – Councilman Moore.

Police Chief Willhite noted that Pitt County Schools has grant-leveraged funds for a resource officer in every school. PCS ask for information from the Town. We are getting clarification on the agreements. They will propose a contract to the Town. Councilman Moore asked if information coming before next meeting? Chief Willhite noted that Pitt County Schools wants to move rapidly. Town Manager Parker said we are excited; however, what is the cost, now and after the grant is over. We want to help the safety of our children. Councilman Moyer asked private schools. Chief Willhite said we want to help all students; however, this is for Pitt County Schools only. Councilwoman Roberson noted they get allocation from public.

5. Discussion of Markings on Fire Chief's Truck – Mayor Pro Tem Smith.

Mayor Pro Tem Smith asked that due to some concerns had asked that the Council support the Fire Chief and the Fire Department and leave the markings as is.

Motion made by Mayor Pro Tem Smith and seconded by Councilman Hines to keep the present markings on the Fire Chief's truck.

Councilman Moyer said he brought to Town Manager Parker's attention about his concern. You can see the markings up close but not from far away. In addition, it has a ghost look. Town Manager Parker said she contacted council and asked for it be on the agenda. Councilman Moyer said it does not clearly identify the Town. Councilman Hines agreed with Councilman Moyer and it is a good discussion point to talk about our fire department, we can think outside the box. Councilwoman Roberson stated all vehicles should be alike. Mayor Pro Tem Smith said it is a sharp professional look. Mayor Jackson noted he liked it. Police Chief Willhite said he took input from officers and all cars are the same. Councilman Moyer asked if any police cars have any ghost markings. Police Chief Willhite said no police have ghost markings. Councilman Moyer said he wants to recognize the vehicle. Town Manager Parker did research and supported the markings for both departments. Mayor Jackson asked did Council approve police vehicle markings. Chief Willhite said no.

Mayor Jackson asked for any further discussion, we have a motion and second. The motion carried 3-2, Councilwoman Roberson and Councilman Moyer opposed.

ITEMS FOR FUTURE AGENDA/FUTURE WORK SESSIONS:

1. Mayor Jackson asked that we review the vehicle sound ordinance.
2. Councilman Hines asked that we invite Dr. Lawrence L. Rouse, President of Pitt Community College to the next meeting.

REPORTS FROM DEPARTMENT HEADS:

1. Assistant Manager Williams updated on projects currently underway:
 - He asked for have everyone patience as we continue the street work around Town and that everyone look at the water tank when you leave tonight.
 - Regional Sewer Pump Station Project: on going, several crews working on pump station and sewer line.
 - Chapman Street Culvert -Nobel Canal Drainage Basin Study: survey complete, engineering design underway.

- 2018 SRF Application (Sewer Rehabilitation): state approved, have milestones set, engineering Request for Quotes going out.
 - NTE Plant Construction Project: running, ribbon cutting forthcoming.
 - Minimum Housing/Code Enforcement: on going, sending letters.
 - Multi-Purpose Building Site Plan: still need site, having discussions with landowners.
 - Winterville Market/Town Common Plan: met with consultant for masterplan.
 - Resurfacing of the Hillcrest Basketball Courts: bids out.
 - Fork Swamp Greenway Project: surveying, notices sent, activities on going, met with PARTIF representatives.
2. Other updates: Describe: Planning Director Jones
 - Horizon Land Use Plan: proposals due this week, recommendation for next meeting, plan complete within fiscal year.
 - Southwest Bypass Plan: plan available at next meeting.
 3. Other updates: Describe: Ainge, Church, and Cooper paving: Public Works Director Welborn
 - DOT put off with Watermelon Festival, Church and Cooper will be spring. Pave when other Town work complete. Town Manager Parker pass along to DOT our concern.
 4. Other updates: Parks and Recreation Director Johnston
 - Spoke about movie, concert, and registrations.

REPORTS FROM THE TOWN ATTORNEY, MAYOR, AND TOWN COUNCIL, AND TOWN MANAGER:

Attorney Lassiter: Closed session and next week is Watermelon Festival and shaping up great one.

Councilman Moore: No Comment

Councilwoman Roberson: Thanks to Town staff, Ben please contact Margaret Knight concerning Boyd Street. Thanks to all of the departments for the National Night Out and Back to School Bash.

Mayor Pro-Tem Smith: No Comment

Councilman Moye: Thanks to the Council for allowing him to attend the Black Elected Officials Conference in Greenville. REAL security standards are in forthcoming.

Councilman Hines: Thanks to the Fire Chief and Fire Department to see the training.

Mayor Jackson: Thanks you card from the 8U team.

Town Manager Parker: Vernon Avenue residents request for speed bumps. Thanks to staff.

ANNOUNCEMENTS: Town Clerk Harvey gave the following.

1. Planning and Zoning Board Meeting – August 20, 2018 – 7 pm – Town Hall Assembly Room.
2. 2018 ElectriCities Annual Conference – August 20 – 22, 2018, Asheville, NC.
3. Board of Adjustment Meeting – August 21, 2018 – 7 pm – Town Hall Assembly Room.
4. Watermelon Festival – August 22 – 26, 2018 – Winterville Recreation Park.
5. NTE Ribbon Cutting – August 28, 2018 – NTE Plant, Kings Mountain, NC.
6. Community Day – September 15, 2018 – Winterville Recreation Park.
7. 2018 NCLM Conference – September 19 – 21, 2018, Hickory, NC.

Motion made by Councilman Moore and seconded by Councilwoman Roberson to adjourn into Closed Session. Motion carried unanimously, 5-0.

CLOSED SESSION: NCGS § 143-318.11. (a)(3): To consult with an attorney employed or retained by the public body in order to preserve the attorney-client privilege between the attorney and the public body, which privilege is hereby acknowledged. General policy matters may not be discussed in a closed session and nothing herein shall be construed to permit a public body to close a meeting that otherwise would be open merely because an attorney employed or retained by the public body is a participant. The public body may consider and give instructions to an attorney concerning the handling or settlement of a claim, judicial action, mediation, arbitration, or administrative procedure. (Attorney-Client Privilege – Update of Lawsuits.)

Motion made by Councilman Moore and seconded by Councilwoman Roberson to adjourn Closed Session. Motion carried unanimously (5-0).

RETURN TO OPEN SESSION: Motion made by Mayor Pro Tem Smith and seconded by Councilman Moore to return to open session. Motion carried unanimously, 5-0.

Council discussed the lawsuit concerning a settlement brought by the previous Town Clerk.

Motion made by Councilman Moore and seconded by Councilman Moye to approve the settlement of \$10,000. The motion carried unanimously, 5-0.

ADJOURN: Motion made by Councilman Moore and seconded by Councilwoman Roberson to adjourn regular meeting. Motion carried unanimously, 5-0.

Adopted this the 8th day of October, 2018.

Douglas A. Jackson, Mayor

ATTEST:

Donald Harvey, Town Clerk



**Town of Winterville
Town Council
Agenda Abstract**

Item Section: Old Business

Meeting Date: October 8, 2018

Presenter: Ben Williams, Assistant Town Manager

Item to be Considered

Subject: Engineering Services for 2018 Sanitary Sewer Rehabilitation Project.

Action Requested: Award of Contract to Rivers & Associates, Inc.

Attachments: Town's Request for SOQs; Rivers' Statement of Qualifications.

Prepared By: Ben Williams, Assistant Town Manager

Date: 10/1/2018

ABSTRACT ROUTING:

TC

FD

TM 10-2-2018

Final 10-2-2018

Supporting Documentation

The Town received a low-interest 20-year loan award, in the amount of \$3,532,000 with \$500,000 being approved for principal forgiveness, from the Division of Water Infrastructure in the spring of 2018 for a Sanitary Sewer Rehabilitation Project. The first step in meeting the required project milestones is to select an Engineering firm to develop the Engineering Report, Environmental Documentation, Construction Plans and Specifications, as well as perform Construction Administration and Inspections.

Staff received one proposal to perform the work. Staff concurred that Rivers & Associates, Inc. presents the project familiarity, experience, technical expertise, scheduling and staffing to complete this project for the Town.

Budgetary Impact: The project costs, including Professional Services, has been approved for funding through the NCDENR – DWI Clean Water State Revolving Fund. TOW received a low-interest 20-year loan award in the amount of \$3,532,000 with \$500,000 being approved for principal forgiveness.

Recommendation: Select Rivers & Associates, Inc. and direct Staff to begin contract negotiations.

**REQUEST FOR QUALIFICATIONS
TOWN OF WINTERVILLE, NC**

**ENGINEERING SERVICES FOR
SANITARY SEWER REHABILITATION IMPROVEMENTS**

ISSUE DATE: SEPTEMBER 5, 2018

A. GENERAL

The Town of Winterville (Town) has been notified of the award of funding from the North Carolina Department of Environment and Natural Resources, Division of Water Infrastructure, Clean Water State Revolving Fund (NCDENR/DWI/CWSRF) to rehabilitate portions of its sanitary sewer collection system. The purpose of the project is to reduce inflow and infiltration through a combination of rehabilitation methods, including the following: line approximately 19,000 linear feet of 8-inch to 12-inch lines and complete approximately 3,800 LF of point repairs and pipe replacement. The preliminary opinion of probable cost for the project is approximately \$3,532,000.

The Town is soliciting Statements of Qualification from engineering consultants interested in providing services for the project. The Town intends to select a qualified consultant to provide preliminary engineering services; engineering design services; bidding, construction contract administration and construction observation services for the project with a general scope of services as listed below.

B. SCOPE OF SERVICES

1. Preliminary Engineering Services:

- a. Develop Engineering Report and Environmental Information Document (ER/EID) utilizing NCDENR/DWI required template.
- b. Assist Town obtain NCDENR/DWI approval of ER/EID.

2. Design Engineering Services:

- a. Perform required corridor and site surveys including topographic, boundary and utility coordination as required.
- b. Prepare construction documents, including drawings and technical specifications
- c. Prepare contract documents.
- d. Arrange and coordinate any required soil borings.
- e. Update cost opinion.
- f. Prepare required permitting applications anticipated to include only DOT Encroachment Permit.
- g. Assist Town with response to questions/comments and revisions to plans/specifications required for acquisition of permit(s).

3. **Bidding & Construction Services:**
 - a. Assist Town with advertisement of the project for solicitation of bids.
 - b. Attend & moderate pre-bid conference.
 - c. Issue addenda as appropriate.
 - d. Conduct bid opening.
 - e. Evaluate bids received and make recommendation for construction contract award.
 - f. Provide assistance in award of construction contract.
 - g. Conduct preconstruction conference.
 - h. Provide routine construction contract administration.
 - i. Review compliance with Davis-Bacon Act and conduct interviews with workers.
 - j. Conduct shop drawing review.
 - k. Perform at least monthly site visits to observe progress and quality of the work.
 - l. Provide determinations of whether the work is in substantial accordance with the contract documents, plans and specifications.
 - m. Provide interpretation of the contract documents, plans and specifications.
 - n. Develop and process construction contract change orders and work change directives.
 - o. Review and process contractor's applications for payment.
 - p. Conduct Final Inspections to insure compliance with contract documents, plans and specifications.
 - q. Provide written approval of final payments to contractors.
 - r. Furnish reproducible record drawings and CAD Files in AutoCad format.
 - s. Provide engineering supervision of Resident Project Representative.
 - t. Provide full-time Resident Project Representative.

C. CONTENTS OF QUALIFICATIONS

1. Name of firm.
2. Person authorized to provide information and negotiate contracts.
3. Location of offices. If more than one, indicate office from which work will be performed.
4. Brief history of firm.
5. Firm employment profile.
6. Project experience. Provide a maximum of ten (10) projects with sanitary sewer collection rehabilitation including pipeline lining and/or replacement similar to the proposed project. Include general project description, types of engineering services performed and client contact information. Indicate how the project was funded (grant, local, loan, etc.), including name of applicable funding agencies.
7. List of key personnel to be directly involved in the project, as well as a brief description of their responsibilities. Include a brief resume for key personnel, including specific sanitary sewer evaluation and/or rehabilitation project experience.
8. Brief project approach, including the effects of the project on the existing Town of Winterville Sewer Collection System operation.

9. Hourly rate schedule for project personnel, including travel, overhead and miscellaneous expenses. In accordance with NCGS 143-64.31, DO NOT INCLUDE Lump Sum or Not-to-Exceed price for services.

D. EVALUATION CRITERIA

1. Consultant selection shall be conducted in accordance with NCGS 143-64.31. Statements of Qualification received by the deadline and prepared in accordance with RFQ instructions will be reviewed to determine the level of service considered most advantageous to the Town.
2. The Town will select the consultant considered best qualified to provide the desired level of service, with consideration for the long-term interest of the Town's efforts based on demonstrated competence and qualifications without regard to fee other than unit price information.
3. After selection of the best qualified consultant to meet the Town's needs, the Town shall negotiate a fair and reasonable fee with the consultant for the desired level of service.
4. Proposals will be reviewed and evaluated by Town staff familiar with the existing facilities, in accordance with the following criteria:
 - a. General Qualifications, Competence & Reputation of Firm *(40 points)*
 - Age, size, staff qualifications and stability of firm
 - Projects to illustrate competence in applicable sanitary sewer rehabilitation engineering
 - Demonstration of understanding of funding requirements
 - Availability of staff to handle the project
 - Reputation with previous clients
 - b. Experience of Involved Staff *(40 points)*
 - Experience with similar type improvements
 - Key personnel – roles and experience
 - Sub-consultants, if any
 - c. Ability to Address Local Needs *(40 points)*
 - Understanding of project requirements
 - Design approach/methodology
 - Familiarity with Town of Winterville's existing water and wastewater systems, other utilities, soil conditions, etc.
 - Completed similar project(s) in the local area
 - d. Availability *(20 points)*
 - Ability to provide access to qualified project team members on a continual basis
 - Ability to commit available resources (current workload) to the project
 - e. Hourly Rate Schedule *(10 points)*
 - Do not include a lump sum or not-to-exceed price
 - Rates indicative of experience and capabilities

E. SUBMISSION INFORMATION

1. Three (3) copies of the proposal must be received by Tuesday September 25, 2018 at 5:00 P.M. in the Town of Winterville's Assistant Town Manager. Facsimile and electronic submissions are not acceptable.
2. Proposals need to be in sealed envelope marked "Statement of Qualifications for Town of Winterville, Engineering Services for Sanitary Sewer Rehabilitation".
3. Proposals may be mailed or hand delivered to:

Mr. Ben Williams, AICP CEP, Assistant Town Manager
Town of Winterville
2936 Church Street
Winterville, NC 28590

4. Questions should be addressed to:

Mr. Ben Williams, AICP CEP, Assistant Town Manager
ben.williams@wintervillenc.com
(252) 215-2499

F. SMALL AND/OR MINORITY FIRMS ARE ENCOURAGED TO SUBMIT QUALIFICATIONS.

G. ALL AWARDS PURSUANT TO THIS PROCUREMENT MAY BE CONTINGENT UPON RECEIPT AND APPROVAL OF GRANT OR LOAN AGREEMENT DOCUMENTS. NO FUNDS WILL BE OBLIGATED UNTIL APPROPRIATE DOCUMENTS ARE EXECUTED AND APPROPRIATE CONDITIONS ARE SATISFIED.

Statement of Qualifications

engineering services for



SANITARY SEWER
REHABILITATION IMPROVEMENTS

submitted by

for



September 25, 2018

Town of Winterville
2936 Church Street
Winterville, NC 28590

ATTENTION: Mr. Ben Williams, AICP CEP

RE: Request for Qualifications
Engineering Services
Sanitary Sewer Rehabilitation Improvements

Dear Mr. Williams:

We are pleased to submit three (3) hard copies of our attached Statement of Qualifications for the Town of Winterville's consideration.

For 100 years, Rivers & Associates, Inc. (Rivers) has provided engineering, planning and surveying services to eastern North Carolina communities for utility and other public infrastructure needs. Although our firm offers other professional services today that complement our core services, our foundation remains engineering services for public works and utility infrastructure.

We have assisted many communities with evaluation, funding assistance, design and construction services for sanitary sewer system rehabilitation projects utilizing NCDEQ's Clean Water State Revolving Loan (SRF) funding. As well, Rivers has previously assisted the Town of Winterville evaluate its wastewater collection system and prioritize needed rehabilitation improvements. Our team now looks forward to the opportunity to be of continued successful service to the Town for the rehabilitation project.

Rivers is a leader in planning and engineering sewer infrastructure rehabilitation. Our Project Team is uniquely qualified to provide the requested services and should be selected for the following reasons:

- Vast **experience** providing similar service to eastern North Carolina communities.
- **Knowledgeable** staff regarding obstacles and mitigating principles to be applied to achieve the desired results.
- Specific **understanding** of methodologies employed to optimize sewer rehabilitation goals.
- Depth and breadth of recent **familiarity** with the Town's sanitary sewer system rehabilitation needs.

We trust our attached Statement of Qualifications provides sufficient information for the Town to select Rivers as best qualified to perform the requested professional services. We appreciate this opportunity to be of service to the Town of Winterville on this most important project, and welcome the opportunity to meet with Town Representatives to address any questions or provide additional information as may be required.

Respectfully,
RIVERS & ASSOCIATES, INC.



Marvin E. (Mark) Garner, Jr., AICP
Vice President

1. Corporate Profile

Corporate Contact

Mark Garner, AICP
Vice President
Phone: 252-752-4135 (office)
Phone: 252-341-4135 (mobile)
Email: mgamer@riversandassociates.com

RIVERS & ASSOCIATES, INC.
ENGINEERING LICENSE # F-0334
LANDSCAPE ARCHITECTURE # C-312

Corporate Office Address

107 East Second Street
Greenville, NC 27858
PO Box 929
Greenville, NC 27835
Phone: 252-752-4135
Fax: 252-752-3974

Knightdale Branch Office Address

McKnight Professional Center
742 McKnight Drive, Suite 200
Knightdale, NC 27545
Phone: 919-295-5463



Rivers' branch office located in Knightdale, North Carolina

www.riversandassociates.com



Rivers' corporate office located in Greenville, North Carolina

History of Our Firm

Rivers & Associates, Inc. (Rivers) is a certified Small Professional Service Firm (SPSF) business corporation owned by nine employees dedicated to providing responsive, quality professional service at a fair price. The firm was formed by Henry L. and Thomas W. Rivers from the company started by Henry L. Rivers in Greenville, NC in 1918. Initially known as Henry L. Rivers, Consulting Engineers, the company was originally formed to provide municipal engineering and drainage engineering services. In 1959, the company was incorporated as a Sub-Chapter S corporation with the North Carolina Secretary of State under the name of Rivers & Associates, Inc. Since 1959, the company has grown and the areas of service have expanded. The company now provides design services for local, state and federal governments, private developers, industrial and commercial clients.

Areas of Service

Rivers provides engineering, planning, surveying and landscape architecture services on a variety of projects including water / wastewater systems and treatment plants, roads and streetscapes, drainage and stormwater management, urban design and revitalization, parks and recreational facilities, marinas and waterfront development, as well as site developments and buildings.

The firm is licensed to provide professional services in professional engineering, surveying and landscape architecture. We also provide professional planning, construction management and inspection services.

Rivers is a corporate member of:

- NC Rural Water Association (NCRWA)
- US Green Building Council (USGBC)

Individuals on our Team are members of:

- American Water Works Association (AWWA)
- American Public Works Association (APWA)
- Project Management Institute (PMI)



Town of Winterville, North Carolina

Civil and environmental engineering, planning, surveying, landscape architecture and inspection services are provided by staff members who are registered or certified to provide professional services.

In addition to project planning, design and construction administration services, Rivers offers complete project administration services including funding applications and administration as well as diversified services to meet our client's special needs that occur during routine administration of system operation, assistance with local government policy formulation, long-range planning, annual budgeting, rate studies, comprehensive planning studies and subdivision compliance reviews.

Our vast knowledge and experience is valued by clients, as a diversified consulting firm that anticipates and plans for items complementary to the actual project. This added value brought to the project process enhances opportunities to optimize engineered solutions and operations of public sanitary sewer systems, including sanitary sewer evaluation and rehabilitation.

The company involves many of its personnel in continuing education to keep abreast with changing technology and various new regulations.

Employment Profile

Civil Engineers	11	Planners	1
Landscape Architect	4	Surveyors	6
Draftsmen	7	Administrative	7
Construction Inspectors	5	TOTAL	41

Office Where Work Will Be Performed

Rivers' staff to be assigned to the Winterville Sanitary Sewer Rehabilitation Improvements Project are all located in our Greenville, NC corporate office.

Why Rivers?

As a small private business corporation owned by employees dedicated to providing clients with responsive, quality engineering services at a fair price, principals, officers, directors and managers of the firm are involved directly in day-to-day client contact, project administration and detailed design. This allows the experience of the firm's senior staff to have "hands-on" involvement in planning, design and construction administration.

We take pride in our commitment to responsiveness, resulting in 80% of our business being from repeat clientele. Creation and maintenance of close working relationships with our clients and regulatory agency personnel is a corpo-

rate priority. Company personnel maintain an amiable and cooperative spirit with all stakeholders agencies so that the client's needs can proceed in an orderly and timely manner.

Rivers is licensed to provide professional services in engineering, surveying and landscape architecture. We also provide planning, construction management and inspection services. Civil and environmental engineering, planning, surveying and landscape architecture services are provided by staff members who are licensed or certified to provide professional services.

The company involves its personnel in continuing education to keep abreast with changing technology and new regulations. Each staff member is computer equipped through a companywide network used extensively for administration, planning, surveying, design and drafting of all project phases. We routinely utilize FTP sites and other file transfer software to share drawings and other documentation for review and discussion with our clients and other stakeholders, as well as utilizing GIS software to provide readily accessible platforms for graphic information as appropriate. Our designers and draftsmen utilize the latest versions of AutoCAD or MicroStation software packages to design and prepare presentation graphics and construction documents, providing our clients the most efficient use of our resources.

As an eastern North Carolina regional firm, Rivers corporate office and our Project Team for the Winterville Sanitary Sewer Rehabilitation Improvements Project are situated less than 10 miles from the Project site, easily accessible to Winterville staff as well as the Project.

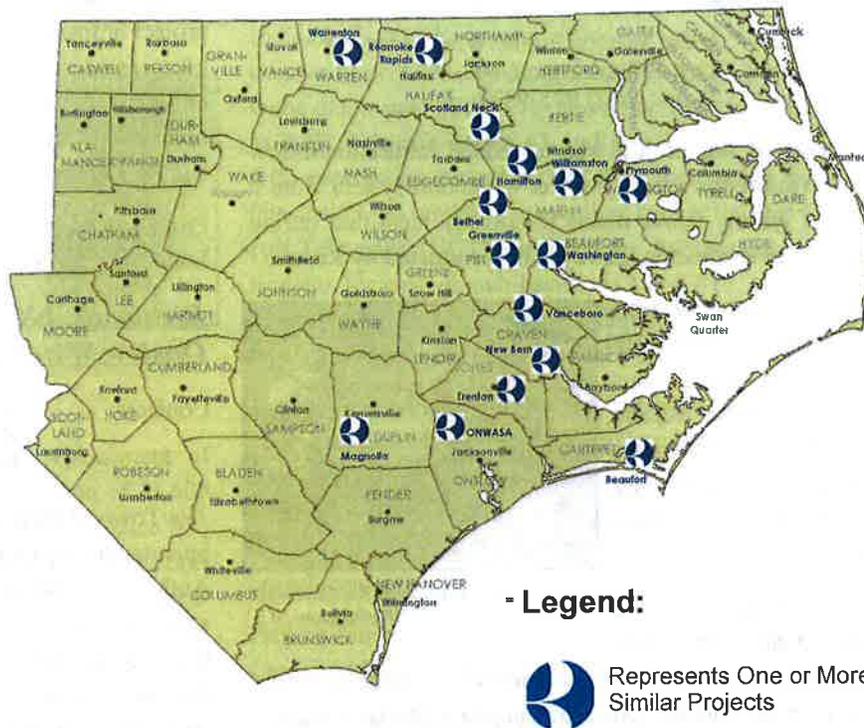
Lastly, Rivers has planned, assisted with funding acquisition, and engineered many public utility infrastructure projects, including sewer system evaluation surveys, rehabilitation and/or replacement projects throughout eastern North Carolina. Our proposed project team recently teamed with Town of Winterville staff to complete the most recent Sewer System Evaluation Survey of the Winterville sanitary sewer collection system, the basis for the proposed project. Our team also assisted the Town in its application to secure funding associated with the project now proposed for rehabilitation. As such, we are intimately familiar with the project and specific issues to be addressed as defined by those previous efforts collaborating with Town staff.

2. Summary of Relevant Company Experience

Rivers & Associates, Inc.

- Infiltration / Inflow Analysis
- Sewer System Evaluation Surveys
- Closed Circuit TV Inspection
- Smoke Testing
- Project Funding Applications & Administration
- Point Repairs
- Pipeline Lining
- Pipeline Replacement
- Manhole Repair/Rehab
- Manhole Replacement
- Service Lateral Rehab

Similar Sewer Rehab Projects from Rivers' Greenville Office



Technical Capabilities

Rivers has played a major role in the evaluation and rehabilitation of sanitary sewer collection system infrastructure throughout eastern North Carolina. As such, Rivers is an industry leader extremely knowledgeable of the methodologies and tasks required to evaluate systems leading to identification of pipelines that are priority candidates for rehabilitation; the various technologies available to be employed for rehabilitation activities; funding programs associated with rehabilitation opportunities, and; regulatory permitting requirements relative to rehabilitation construction.

Over the past forty years, our corporate experience includes nearly fifty successful projects associated with the evaluation and rehabilitation of municipal sanitary sewer infrastructure aimed at the reduction of infiltration/inflow. These projects have led to literally tens of thousands of feet of pipeline lining, dozens of manholes repaired/renovated/replaced, numerous pipeline point repairs/replacements and the rehabilitation/replacement of hundreds of service laterals within the public rights-of-way. This vast track record has allowed our staff to have a front row seat to observing the evolution of innovative technologies for pipe and manhole lining/repair which is essential today for the successful and sustainable planning, funding, design and implementation of the proposed sanitary sewer rehabilitation project for the Town of Winterville.

In this section, brief summaries of Rivers & Associates' experience with wastewater collection system rehabilitation projects is well documented.

Relevant Services Provided:

- ▶ Project Planning & Cost Estimating
- ▶ Funding Assistance
- ▶ Preliminary Engineering Report
- ▶ Environmental Information Documentation
- ▶ Preparation of Plans & Specifications
- ▶ Regulatory Permitting
- ▶ Bidding Assistance
- ▶ Construction Administration / Inspection
- ▶ Reproducible Record Drawings

Similar Projects

2015 Sewer System Rehabilitation City of Washington, NC

Contact: Adam Waters, Public Works Director
City of Washington, NC
Phone: (252) 975-9332

The purpose of this project was to reduce infiltration/inflow into the Washington sanitary sewer collection system from a number of gravity sewer mains previously identified during Sewer System Evaluation Surveys also conducted by Rivers.

The project scope of work included: replacement of 300 LF of gravity sewer mains, 900 LF of point repairs, 20,700 LF of 8" - 12" gravity sewer main CIPP liner, and replacement of 4 manholes.



*Sewer Manhole Replacement,
Washington, NC.*

Services provided by Rivers included loan application/administration assistance, design surveying, engineering design, permitting, bidding, construction administration and part-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct and NCDOT encroachment permit.

Project funded by NCDENR-Clean Water State Revolving Loan with \$500,000 in principal forgiveness.

Cedar Street Sanitary Sewer Rehabilitation Town of Beaufort, NC

Contact: Donovan Willis, Public Utility Director
Town of Beaufort, NC
Phone: (252) 723-0153

The purpose of this project was to reduce infiltration into the Beaufort sanitary sewer collection system from a gravity sewer main previously identified during Sewer System Evaluation Survey (SSES) (also conducted by Rivers) as a priority pipeline for rehabilitation.



*Refrigerated Trucks with Impregnated
Resin Pipeline Liners Waiting to be
Installed, Beaufort, NC.*

The location of the project was the entire length of a four-lane curb & gutter section of Cedar Street (US Highway 70) within the Town of Beaufort. The project scope of work included: replacement of 350 LF of 10"-15" gravity sewer mains, 2,800 LF of CIPP liner for 10"-15" gravity sewer mains, replacement of 33 EA 4" & 6" service connections with laterals to new clean-outs at the rights-

of-way line, replacement of 3 manholes, repair & cementious liner for 64 VF of existing manholes.

Services provided by Rivers included loan application/administration assistance, assistance in preparation of capital project ordinance, design surveying, engineering design, permitting, easement surveying & mapping, bidding, construction administration and full-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct and NCDOT encroachment permit.

Project funded by NCDENR-Clean Water State Revolving Loan.

Richlands, NC Sanitary Sewer Rehabilitation Onslow Water & Sewer Authority

Contact: Gregg Whitehead, Town Manager
Town of Richlands, NC
Phone: (910) 324-3301

The Town of Richlands sewer system is operated by the Onslow Water & Sewer Authority (ONWASA). The Town sewer system was under a new connection moratorium by NCDENR-DWQ due to hydraulic overloads associated with infiltration/inflow (I/I).

The purpose of this project was to rehabilitate the sewer system to reduce I/I into the Richlands sanitary sewer collection system from gravity sewer mains previously identified during Sewer System Evaluation Survey (SSES) (also conducted by Rivers) and Closed Circuit Television (CCTV) inspection (coordinated by Rivers) as priority pipelines for rehabilitation.

The rehabilitation project included various pipelines throughout the Town. Construction consisted of 1,100 LF of sewer main point repairs, 300 LF of sewer main replacement, 11,000 LF of main 8" - 12" sewer CIPP liner and associated service reconnection/lateral replacements by pipe bursting, 10 EA service repairs, and 102 manholes for repair/rehab.

Services provided by Rivers included loan application/administration assistance, assistance in preparation of capital project ordinance, design surveying, engineering design, permitting, easement surveying & mapping, bidding, construction administration and full-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct and NCDOT encroachment permit.

Project funded by NCDENR-Clean Water State Revolving Loan.

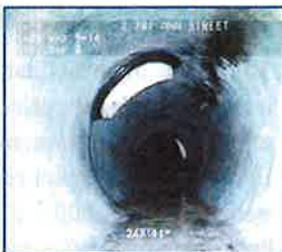


*CIPP Liner Installation
Richlands, NC*

General Sanitary Sewer Rehabilitation Town of Beaufort, NC

Contact: Donovan Willis, Public Utility Director
Town of Beaufort, NC
Phone: (252) 723-0153

The purpose of this project was to rehabilitate the sewer system to reduce I/I into the Beaufort sanitary sewer collection system from gravity sewer mains previously identified during Sewer System Evaluation Survey (SSES) (also conducted by Rivers) with total infiltration rates as high as 660,000 GPD and as priority pipelines for rehabilitation.



Liner Post-Installation CCTV Inspection, Beaufort, NC

The scope of rehabilitation work included: replacement of 7,100 LF of 8"-12" gravity sewer mains, installation of 33,600 LF of CIPP liner for 8"-12" gravity sewer mains, replace 630 EA 4" & 6" service connections with laterals to new clean-outs at the rights-of-way line, replacement of 39 manholes, replacement of covers for 81 manholes, repair & cementious liner for 520 VF of existing manholes.

Services provided by Rivers included loan application/administration assistance, assistance in preparation of capital project ordinance, design surveying, engineering design, permitting, easement surveying & mapping, bidding, construction administration and full-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct, NCDENR-PWS Authorization to Construct, and NCDOT encroachment permit.

Project funded by NCDENR-Clean Water State Revolving Loan.

Sanitary Sewer Rehabilitation - Basins 3, 4, 12 City of Washington, NC

Contact: Adam Waters, Public Works Director
City of Washington, NC
Phone: (252) 975-9332

The City of Washington was interested in identifying opportunities for infiltration/inflow (I/I) reduction to reduce peak hydraulic loads at its wastewater treatment plant (WWTP). I/I is normally anticipated in historic communities such as the City of Washington, especially in the oldest sections of the City



Pipeline Lining Operation Washington, NC

where the majority of the system consists of clay pipes with a large number of leaking joints.

Rivers and ADS Environmental conducted a flow study to determine which sub-basins are the largest contributors of infiltration/inflow. The results of the flow study indicated that excessive I/I problems exist most notably in sub-basin #12, which is the oldest part of the City and adjacent to the Pamlico River, as well as in sub-basins #3 and #4. Rivers assisted the City with contracting for additional flow monitoring work in sub-basins #3, #4, and #12, as well as contracting for Closed Circuit Television (CCTV) inspection. Subsequent rehabilitation projects focused on sub-basins #12 and #12 and consisted of 10,200 LF of 6" - 12" pipeline lining, 785 VF of manhole cementious liner and a force main relocation.

Services provided by Rivers included grant application/administration assistance, design surveying, engineering design, permitting, bidding, construction administration and part-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct and NCDOT encroachment permit.

Project funded by NC Rural Economic Development Center Grant and local cash contribution.

Sanitary Sewer Rehabilitation Town of Williamston, NC

Contact: Kerry Spivey, Public Works Director
Town of Williamston, NC
Phone: (252) 792-1024

Over the past thirty years, the Town of Williamston has methodically implemented various projects to rehabilitate or replace its aging sewer infrastructure with a goal of infiltration/inflow (I/I) reduction. During that time, Rivers has conducted two system-wide Sewer System Evaluation Surveys (SSES), including coordinating Closed Circuit Television (CCTV) inspections for pipelines with high priority for remedial action due to excessive infiltration rates. The implementation of multiple rehab or replacement projects resulting from the SSES and CCTV efforts has eliminated nearly 1.0 MGD of seasonal high infiltration from the Town's wastewater treatment plant.



Removal of Manhole to be Replaced Williamston, NC

The scope of rehabilitation work included: replacement of 105 LF of 8" gravity sewer main, 340 LF of 8" & 10" point repairs, installation of 16,600 LF of CIPP liner for 8", 10" & 15" gravity sewer mains, replace 227 EA 4" & 6" service connections with laterals to new clean-outs at the rights-of-way line, grouting of 425 LF of abandoned sewers, replacement of 14 man-

Town of Winterville, North Carolina

holes, replacement of covers for 16 manholes, repair & cementitious liner for 300 VF of existing manholes.

Services provided by Rivers included loan application/administration assistance, assistance in preparation of capital project ordinance, design surveying, engineering design, permitting, easement surveying & mapping, bidding, construction administration and full-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct, NCDENR-PWS Authorization to Construct, and NCDOT encroachment permit.

Project funded by NCDENR-Clean Water State Revolving Loan with 50% principal forgiveness.

Vine Street Utility & Street Improvements
City of Roanoke Rapids, NC

Contact: Kelly Lasky, Planning Director
City of Roanoke Rapids, NC
Phone: (252) 533-2844

The City of Roanoke Rapids sewer system is operated by the Roanoke Rapids Sanitary District. The purpose of this project was to renovate public utility infrastructure and streets in an older residential neighborhood.

The scope of work included: 35 LF of 8" point repairs, installation of 1,400 LF of CIPP liner for 8" gravity sewer mains, replace 14 EA 4" service connections with laterals to new clean-outs at the rights-of-way line, grouting of 270 LF of abandoned sewers, repair & cementitious liner for 37 VF of existing manholes, 1,300 LF new 6" water main, 1,200 SY Street improvements.



*New Service Tap on Lined Sewer Main
Roanoke Rapids, NC*

Services provided by Rivers included grant administration assistance (Davis-Bacon requirements), design surveying, engineering design, permitting, easement surveying & mapping, bidding, construction administration and full-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct and NCDOT encroachment permit.

Project funded by CDBG-CN grant and local cash contribution.

Sanitary Sewer Rehabilitation
Town of Vanceboro, NC

Contact: Vernon Edwards, Public Works Director
Town of Vanceboro, NC
Phone: (252) 229-0878

The purpose of this project was to reduce infiltration into the Vanceboro sanitary sewer collection system from gravity sewer

mains previously identified during Sewer System Evaluation Survey (SSES) (also conducted by Rivers) and Closed Circuit Television (CCTV) inspection (coordinated by Rivers) as priority pipelines for rehabilitation.

The scope of rehabilitation work included: replacement of 113 LF of 10" gravity sewer main, 250 LF of 8" & 10" point repairs, installation of 20,800 LF of CIPP liner for 8" & 10" gravity sewer mains, replace 123 EA 4" & 6" service connections with laterals to new clean-outs at the rights-of-way line, replacement/reset covers for 38 manholes, repair & cementitious liner for 16 VF of existing manholes.

Services provided by Rivers included loan application/administration assistance, assistance in preparation of capital project ordinance, design surveying, engineering design, permitting, easement surveying & mapping, bidding, construction administration and full-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct, NCDENR-PWS Authorization to Construct, and NCDOT encroachment permit.

Project funded by NCDENR-Clean Water State Revolving Loan with 50% principal forgiveness.

Sanitary Sewer Interceptor
Replacement & Rehabilitation
Town of Williamston, NC

Contact: Kerry Spivey, Public Works Director
Town of Williamston, NC
Phone: (252) 792-1024

The purpose of this project was to reduce infiltration leaking directly into the two major gravity sewer pipelines that intercept all flows from the Town's sanitary sewer collection system and transport it to the Town's wastewater treatment plant (WWTP).

Implementation of this project was a direct result of a previously Sewer System Evaluation Survey (SSES) (also conducted by Rivers) that identified the interceptor pipelines as a priority pipelines for rehabilitation due to excessive infiltration.

The scope of rehabilitation work included: replacement of 11,400 LF of 8" - 30" DIP gravity sewer interceptors to replace existing mains, 2,000 LF of 15" interceptor pipeline CIPP lin-



*Installation of Point Repair
Prior to Pipeline Lining
Vanceboro, NC*



*DIP Sewer Interceptor on Concrete Pier
Williamston, NC*

ing, 460 LF of 30"-36" dry bores with steel sheet piling to accommodate sewer construction beneath highways and railroad, 250 LF of sanitary sewer on concrete piers were included in flood prone areas, replacement of 40 manholes, repair & cementious liner for 82 VF of existing manholes. Provisions were designed for continuous operational service during installation of new mains and cutover from the old to the new system.

Services provided by Rivers included loan application/administration assistance, assistance in preparation of capital project ordinance, design surveying, engineering design, permitting, easement surveying & mapping, bidding, construction administration and full-time construction observation. Permits obtained included NCDENR-DWQ Authorization to Construct, NCDENR-PWS Authorization to Construct, and NCDOT encroachment permit.

Project funded by commercial loan and local cash contribution.

Sanitary Sewer Outfall Rehabilitation
Greenville Utilities Commission
Greenville, NC

Contact: Randy Emory, PE, Water Resources Dir.
Greenville Utilities Commission
Phone: (252) 551-1551

Public utilities serving the City of Greenville are provided by Greenville Utilities Commission (GUC). Rivers & Associates partnered with URS Corporation for this project to rehabilitate several of the major



*Wastewater Outfall Pipe Lining
Greenville NC*

sanitary sewer outfalls that transport collected flows from the sanitary sewer collection system towards the GUC wastewater treatment plant (WWTP). Green Mill Run, Tar River and Parkers Creek Sewer Outfalls were targeted by GUC for this specific project. The purpose of this project was to reduce infiltration and potential exfiltration.

The scope of rehabilitation work included: 8 EA 18"-27" gravity sewer main point repairs; 11,000 LF of 18"-27" gravity sewer main liner, and; 600 VF of cementious manhole lining & epoxy coating.

Rivers provided design topographic surveys and construction observation services for the project.

Project funded locally.

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3. Project Team

Services to Be Provided

- Funding Assistance
- Environmental Documentation
- Topographic Surveying
- Civil Engineering
- Regulatory Permitting
- Bidding Assistance
- Construction Administration
- Construction Inspection
- Record Drawings



Pipeline CIPP Liner Installation Process, Beaufort, North Carolina.

The Rivers' Project Team

Rivers Project Team is well trained and experienced to accomplish their assigned tasks. Personnel to be assigned to the project are experienced in: conducting sewer system evaluation surveys; NCDEQ project financing application/administration processes, and; detailed design development, permitting and construction administration/inspection of sanitary sewer rehabilitation/replacement projects.

The organizational chart on this page identifies Key Project Team Members and their respective roles for the proposed Town of Winterville Sanitary Sewer Rehabilitation Improvements Project. This Team will participate in the successful completion and gain approval of the Engineering Report and Environmental Information Document required by NCDEQ, as well as with design, cost opinion updates, permitting, bidding and full construction administration/inspection tasks.

The following pages provide detailed professional resumes for each Key Project Team member. Included within the resumes are highlights of selected projects that are similar, or contained similar aspects to, the proposed Winterville Sanitary Sewer Rehabilitation Project. This Team is immediately available to begin work and successfully complete the project.

Rivers' Key Team Member Roles

Project Principal Technical Advisor	Greg Churchill, PE
Project Manager	Blaine Humphrey, PE
Project Engineer	Seth Anderson, PE
Survey Manager	Patrick H. Hartman, PLS
Resident Project Representative	Dale Anderson, RPR

Greg Churchill, PE

Project Principal, Technical Advisor



Greg Churchill is a professional engineer with a depth and breadth of municipal infrastructure planning and design with expertise in water and wastewater treatment. He is a partner and Vice President of the firm leading the Municipal Engineering Department. Greg's years of engineering design & management experience include civil engineering studies, preliminary plans, construction drawings, contracts, specifications, permitting, cost estimating & contract administration. He is equally proficient in the design of water treatment plants, wells, ground storage tanks, water distribution systems, wastewater treatment plants, wastewater collection systems, sewage pumping stations, force mains, storm drainage & detention facilities, roadway extensions & site plans.

His consulting expertise extends to local government administration by performance of tasks such as budget planning, long-range capital improvement plans, negotiation/preparation of pre-development agreements, project financing plans, and grant/loan applications/administration.

Selected Experience

Sanitary Sewer Rehabilitation, Vanceboro, NC: Senior Project Manager for design and construction administration services for rehabilitation of portions of the existing gravity sanitary sewer collection system receiving high inflow and infiltration. The project includes lining approximately 18,800 LF of 8-inch to 10-inch gravity sewer; approximately 350 LF of 8-inch to 10-inch gravity sewer point repairs; cementitious lining of 15 vertical feet of brick risers; resetting the ring and cover on approximately 28 manholes, and replacing approximately 118 service laterals. Project funded by NCDENR-Clean Water State Revolving Loan with principal forgiveness.

Sanitary Sewer Rehabilitation, Williamston, NC: Senior Project Manager for design and construction administration services for rehabilitation of portions of the existing gravity sanitary sewer collection system receiving high inflow and infiltration. The project includes lining approximately 15,000 linear feet (LF) of 8-inch to 15-inch gravity sewer, approximately 300 LF of 8-inch to 15-inch gravity sewer point repairs; lining approximately 360 VF of manholes; replacing approximately eleven (11) manholes, replacing the ring and cover on approximately twenty (20) manholes, and replacing approximately 205 service laterals. Project funded by NCDENR-Clean Water State Revolving Loan with principal forgiveness.

US HWY 70 Utilities Relocation for NCDOT TIP R-3307, Beaufort, NC: Senior Project Manager responsible for the design and permitting for the relocation of approximately 3.7 miles of water and sewer main including two 1100 LF directional bores, force main and gravity sewer, as well as replacement of Pump Station No. 10. Construction of this project precedes the installation of the US HWY 70 Bypass around the Town of Beaufort to be constructed by NCDOT. Project funded by NCDOT and local funds.

Academic Credentials

M.S. - Engineering, North Carolina State University, 1999

B.S. - Civil Engineering, North Carolina State University, 1986

Employment History

1986 - Present - Rivers & Associates, Inc.

Professional Registration

Professional Engineer, NC (#16744)

Associations & Affiliations

American Society of Engineers
 American Water Works Association
 East Carolina University Engineering Advisory Board
 National Society of Professional Engineers
 Professional Engineers of North Carolina

Sanitary Sewer Interceptor Replacement/Rehabilitation, Town of Williamston, NC: Project Engineer responsible for design of 11,400 LF of 8"-30" D.I.P. gravity sewer interceptors to replace existing mains and 2,000 LF of 15" pipeline lining. The project included 460 LF of 30"-36" dry bores with steel sheet piling to accommodate sewer construction beneath highways and railroad. 250 LF of sanitary sewer on concrete piers were included in flood prone areas, new manholes and interior lining of existing manholes. Also, provisions were made for continuous service to existing customers during installation of new mains and cutover from the old to the new system. Project funded by commercial loan and local funds.

Blaine Humphrey, PE

Project Manager



Blaine Humphrey is a professional engineer with 26 years of a wide range of experience in civil and environmental engineering. As a Project Manager and Project Engineer, he has been involved in the design of water and wastewater treatment plants, water supply wells, water distribution systems, wastewater collection systems, sewage pumping stations, force mains, and storm drainage systems. He also has experience in engineering studies, contracts and project specifications, cost estimates, and construction contract administration and inspection. Mr. Humphrey also has experience in budgeting, scheduling, and monitoring of projects during the project life cycle.

As a Geotechnical Engineer, Blaine has extensive experience in laboratory and field testing and inspection of soils and concrete. Engineering analysis of soils includes slope failure investigations, slope stability analysis, settlement analysis, and site evaluation/geotechnical investigations.

Selected Experience

Wastewater Asset Inventory Assessment Project, Winterville, NC: Project Manager responsible for assessment, evaluation, and analysis of the wastewater utility assets. Tasks include sewer system evaluation survey, cataloging assets, condition assessment, risk analysis, ranking of prioritized needs, cost estimates, development of a 10-year capital improvement plan, evaluation of user charge impacts, and development of an Asset Management Plan for the sewer system. The plan provides documentation and support for budget forecasts used in budgeting for future wastewater system capital needs.

Pennsylvania Avenue Sewer Improvements, Washington, NC: Project Manager responsible for funding assistance, coordination and completion of design, permitting, and construction contract administration of 900 LF of 12-foot deep 24-inch gravity sewer main and associated manholes and tie-ins to the Pennsylvania & Havens Pump Station and an existing manhole. The project replaced existing piping to relieve a "bottleneck" in the Runyon Creek Outfall into the sewer pumping station. The project was approximately funded by a CDBG Infrastructure grant.

Sewer System Evaluation Survey, Phase I, Basin 11, Washington, NC: Project Manager for Phase I evaluation survey consisting of "desktop" analysis of flow data, physical inspection, flow monitoring, smoke testing, projected repair requirements, cost estimates, and final report of infiltration/inflow into existing gravity sanitary sewer system. Assisted with NCDENR Technical Assistance Grant application to partially fund the project.

Multi-Basin Sewer Rehab, Washington, NC: Project Manager responsible for 21,900 LF 8-12 inch sanitary sewer lining throughout various sewer basins also including 1,200 LF of sewer main replacement, and 4 manhole replacements.

Academic Credentials

B.S. - Civil Engineering, University of North Carolina - Charlotte, 1992

Employment History

2000 - Present - Rivers & Associates, Inc.
1992 - 2000 - GeoTechnologies

Professional Registration

Professional Engineer, NC (#22987)

Associations & Affiliations

American Water Works Association
Project Management Institute

Harris Mill Run Outfall Replacement, Greenville Utilities Commission, Greenville, NC: Project Manager responsible for design, permitting, bidding, and construction contract administration of 1,900 LF of 16 - 21 inch gravity sanitary sewer outfall to replace the existing 15 inch gravity sewer outfall. Project included installation of 10 manholes, reconnection of the new sewer outfall to the existing outfall and bypass pumping to maintain operation during construction, as well as reconnection of sewer lines and service laterals to the new sewer outfall.

Pennsylvania Avenue Sewer Improvements, Washington, NC: Project Manager responsible for the coordination and completion of design, permitting, and construction contract administration of 900 LF of 12-foot deep 24-inch gravity sewer main and associated manholes and tie-ins to the Pennsylvania & Havens Pump Station and an existing manhole. The project replaced existing piping to relieve a "bottleneck" in the Runyon Creek Outfall into the sewer pumping station.

Annexation Area A Water & Sewer Improvements, Williamston, NC: Project Manager responsible for the coordination and completion of design, permitting, and construction contract administration of 17,200 LF of 6 to 20-foot deep 8 to 12-inch gravity sewer main and associated 78 manholes and tie-ins to existing manholes. The project also involves construction of a new sewer pump station and force main to serve the annexed area. Water line loops and additional fire hydrants are design for the area also.

Seth Anderson, PE

Project Engineer



Seth Anderson graduated Cum Laude from North Carolina State University with a degree in Mechanical Engineering. He serves as a Project Engineer in Rivers & Associates' Municipal Engineering Department. His responsibilities include preparation of engineering calculations, studies, construction drawings, technical specifications and contract documents. He is also responsible for permitting, cost estimating and contract administration. His experience includes hydrologic calculations and pipe culvert sizing/analysis, erosion and sedimentation control computations and design, hydraulic modeling using WaterCAD software, quantity takeoffs and cost estimates, review and approval of shop drawings, funding applications, etc.

Selected Experience

Sewer System Evaluation Survey, Phase I, Winterville, NC: Design Engineer assisting with Phase I evaluation survey consisting of "desktop" analysis of flow data, manhole physical inspection, nocturnal flow observation and instantaneous flow monitoring, smoke testing, projected repair requirements, cost estimates, and report summarizing findings, conclusions, recommendations and preliminary cost opinions relevant to infiltration/inflow reduction into existing gravity sanitary sewer system.

Sanitary Sewer Rehabilitation, Washington, NC: Design Engineer responsible for design and construction administration services for rehabilitation of approximately 13,300 LF of aging gravity sanitary sewers for the City of Washington. Rehabilitation efforts included cleaning, CCTV, miscellaneous point repairs, cured-in-place-pipe liner, service lateral replacement, service lateral lining, manhole repair/lining/replacement, and roadway repairs.

Sanitary Sewer Rehabilitation, Williamston, NC: Design Engineer responsible for design and construction administration services for rehabilitation of portions of the existing gravity sanitary sewer collection system receiving high inflow and infiltration. The project includes lining approximately 15,000 linear feet (LF) of 8-inch to 15-inch gravity sewer, approximately 300 LF of 8-inch to 15-inch gravity sewer point repairs; lining approximately 360 VF of manholes; replacing approximately eleven (11) manholes, replacing the ring and cover on approximately twenty (20) manholes, and replacing approximately 205 service laterals. Project funded by NCDENR-Clean Water State Revolving Loan with principal forgiveness.

Sanitary Sewer Rehabilitation, Vanceboro, NC: Design Engineer responsible for design and construction resident project representative services for rehabilitation of portions of the existing gravity sanitary sewer collection system receiving high inflow and infiltration. The project includes lining approximately 18,800 LF of 8-inch to 10-inch gravity sewer; approximately 350 LF of 8-inch to 10-inch gravity sewer point repairs; cementitious lining of 15 vertical feet of brick risers; resetting the ring and cover on approximately 28 manholes, and replacing approximately 118 service laterals.

Academic Credentials

B.S. - Mechanical Engineering, North Carolina State University, 2013

Employment History

2013 - Present - Rivers & Associates, Inc.

Professional Registration

Professional Engineer, NC (#46865)
Registered Gas Distribution Professional, 2015

Multi-Basin Sewer System Evaluation Survey, Phase II, Washington, NC: Design Engineer assisting with specification and field services for Phase II evaluation survey consisting of approximately 16,000 LF CCTV inspection, projected repair requirements, cost estimates, and report memorandum summarizing findings, conclusions, recommendations and preliminary cost opinions for infiltration/inflow reduction into existing gravity sanitary sewer system.

Multi-Basin Sewer Rehab, Washington, NC: Design Engineer assisting with design and specification services for 21,900 LF 8-12 inch sanitary sewer lining throughout various sewer basins also including 1,200 LF of sewer main replacement, and 4 manhole replacements.

Pressure Sanitary Sewer Improvements, Chowhownity, NC Design Engineer assisting with design and specifications services to expand capacity of the existing Septic Tank Effluent Pump (STEP) pressure collection system. The project includes installation of a new 120,000 gallon reinforced concrete Equalization Basin at the main Bragaw Lane Pump Station, installation of the new Blounts Creek Regional Pump Station, approximately 14,000 LF of 6" - 14" force mains and appurtenances including 1,920 LF of 10" - 12 " HDPE directional bores. The project includes mixing/odor control and electrical improvements at both pump station sites, as well as a radio telemetry/SCADA system for monitoring and alarm communication for five (5) pump station sites.

Patrick W. Hartman, PLS

Survey Project Manager



Patrick Hartman will be responsible for overseeing project surveying needs as Project Manager of River's Surveying Department. In this role, he will coordinate required survey efforts with the surveying subconsultant. He is a Professional Land Surveyor whose work experience includes wetland surveys, topographic surveys, boundary surveys, residential platting, utility right-of-way mapping, road right-of-way mapping,

residential construction surveying, storm drainage as-builts, utility as-builts and physical/as-built/loan surveys. He has extensive experience with civil/site development from the initial boundary survey, to final platting. Projects typically include all design, construction and as-built surveying.

Selected Experience

Pennsylvania Avenue Sewer Improvements, Washington, NC: Project Surveyor Manager responsible for topographic survey and mapping of 900 LF of 12-foot deep 24-inch gravity sewer main and associated manholes and tie-ins to the Pennsylvania & Havens Pump Station and an existing manhole. The project replaced existing piping to relieve a "bottleneck" in the Runyon Creek Outfall into the sewer pumping station.

Sanitary Sewer Rehabilitation, Williamston, NC: Project Surveyor Manager responsible for topographic survey and mapping for rehabilitation of portions of the existing gravity sanitary sewer collection system receiving high inflow and infiltration. The project includes lining approximately 15,000 linear feet (LF) of 8-inch to 15-inch gravity sewer, approximately 300 LF of 8-inch to 15-inch gravity sewer point repairs; lining approximately 360 VF of manholes; replacing approximately eleven (11) manholes, replacing the ring and cover on approximately twenty (20) manholes, and replacing approximately 205 service laterals.

Sanitary Sewer Rehabilitation, Vanceboro, NC: Project Surveyor Manager responsible for topographic survey and mapping for rehabilitation of portions of the existing gravity sanitary sewer collection system receiving high inflow and infiltration. The project includes lining approximately 18,800 LF of 8-inch to 10-inch gravity sewer; approximately 350 LF of 8-inch to 10-inch gravity sewer point repairs; cementitious lining of 15 vertical feet of brick risers; resetting the ring and cover on approximately 28 manholes, and replacing approximately 118 service laterals.

Sanitary Sewer Rehabilitation Project, Beaufort, NC: Project Surveyor Manager responsible for topographic survey and mapping for 33,900 LF sanitary sewer rehabilitation project throughout the Town of Beaufort also including 7,300 LF of sewer main replacement, 38 manhole replacements, 526 VF of manhole rehabilitation and 632 service lateral replacements.

Academic Credentials

- B.A. - History, University of North Carolina at Wilmington, 1991
- A.A.S. - Civil Engineering Technology, Central Piedmont Community College, 1997
- A.A.S. - Surveying Technology, Central Piedmont Community College, 1997

Employment History

- 2004-Present - Rivers & Associates, Inc.
- 8 years - Harris Engineering
- 2 months - Central Piedmont Community College
- 2 years - Jack Christian & Associates Surveyors
- 10 months - Northstar Mapping Service

Professional Registration(s)

- P.L.S., North Carolina (# L- 4262), 2000
- Certified Flood Plain Surveyor, (NC-102), 2006

Associations & Affiliations

- North Carolina Society of Surveyors

Cedar Street Sewer Rehabilitation, Beaufort, NC: Project Surveyor Manager responsible for topographic survey and mapping for 3,000 LF sanitary sewer rehabilitation liner project on Cedar Street.

Sanitary Sewer Rehabilitation Project, Richlands, NC: Project Surveyor Manager responsible for topographic survey and mapping for 9,700 LF sanitary sewer rehabilitation project throughout the Town of Richlands owned by Onslow Water and Sewer Authority (ONWASA) including 8,400 LF pipeline lining, 1,300 LF of sewer main replacement, 12 manhole replacements, 245 VF of manhole rehabilitation and 117 service lateral replacements.

Area A Water & Sewer Improvements, Williamston, NC: Survey Manager responsible for partial topographic survey, setting horizontal/vertical control and easement survey/mapping for water and sewer improvements consisting of approximately 17,200 linear feet of 8-12-inch gravity sewer lines, a 210 GPM sewer pumping station, 3,855 linear feet of 6-inch force main, and 4,000 linear feet of 6-inch water main.

Dale Anderson, RPR

Resident Construction Observer



Dale Anderson has served as construction observer for Rivers and Associates municipal infrastructure projects for 28 years. He has inspected major sewer rehabilitation/replacement projects, countywide water systems and major construction of wastewater collection/treatment and water distribution/treatment systems for municipalities. He has performed construction observation services for street construction, gravity sewer and sewer force

mains, water supply wells, water and wastewater treatment plants, elevated tanks, pipe lines requiring piling, piers, river crossings, well pointing, electrical distribution and control systems as well as for municipal buildings. He is familiar with construction methods/techniques as well as the construction administration process dealing with partial pay requests, change orders, shop drawings, and coordination of as-built drawings from contractor notes.

Selected Experience

Sanitary Sewer Rehabilitation, Williamston, NC: Project Representative for construction observation services for rehabilitation of portions of the existing gravity sanitary sewer collection system receiving high inflow and infiltration. The project includes lining approximately 15,000 linear feet (LF) of 8-inch to 15-inch gravity sewer, approximately 300 LF of 8-inch to 15-inch gravity sewer point repairs; lining approximately 360 VF of manholes; replacing approximately eleven (11) manholes, replacing the ring and cover on approximately twenty (20) manholes, and replacing approximately 205 service laterals.

Sanitary Sewer System Rehabilitation Project, Beaufort, NC: Project Representative for construction observation services for 33,900 LF sanitary sewer rehabilitation project throughout the Town of Beaufort also including 7,300 LF of sewer main replacement, 38 manhole replacements, 526 VF of manhole rehabilitation and 632 service lateral replacements.

US HWY 70 Utilities Relocation for NCDOT TIP R-3307, Beaufort, NC: Project Representative responsible for project relocating water and sewer infrastructure in response to the proposed US 70 By-Pass around Beaufort. Project included replacement of a wastewater lift station, 5,600 LF of gravity sewer, 32 manholes, 2,600 LF of force main and 1,100 LF directional bore sewer force main beneath Town Creek. Water system replacements included 9,600 LF of waterline with valves, hydrants and other appurtenances as well as 1,100 LF directional bore water main beneath Town Creek.

Harris Mill Run Outfall Replacement, Greenville Utilities Commission, Greenville, NC: Project Representative for construction observation services for the construction of 1,900 LF of 16 – 21 inch gravity sanitary sewer outfall to replace the existing 15 inch gravity sewer outfall. Project included installation of 10 manholes, reconnection of the new sewer outfall to the existing outfall and bypass pumping to maintain operation during con-

Academic Credentials

A.A.S. - Architectural Engineering/Mechanical Drafting, Beaufort Community College

Employment History

1987 - Present - Rivers & Associates, Inc.

1985 - 1987 - Ironworker

1982 - 1985 - Engineering Draftsman

Certification(s)

Grade II WWTP Operator, North Carolina

Class C Water Treatment Plant Operator, North Carolina

struction, as well as reconnection of sewer lines and service laterals to the new sewer outfall.

Annexation Area A Water & Sewer Improvements, Williamston, NC: Project Representative for construction observation services for the construction of 17,200 LF of 6 to 20-foot deep 8 to 12-inch gravity sewer main and associated 78 manholes and tie-ins to existing manholes. The project also involves construction of a new sewer pump station and force main to serve the annexed area. 6" water line loops and additional fire hydrants were installed for fire protection rated service in the residential annexation area.

Pressure Sanitary Sewer Improvements, Chowinity, NC: Project Representative responsible for construction observation services to expand capacity of the existing Septic Tank Effluent Pump (STEP) pressure collection system. The project includes installation of a new 120,000 gallon reinforced concrete Equalization Basin at the main Bragaw Lane Pump Station, installation of the new Blounts Creek Regional Pump Station, approximately 14,000 LF of 6" – 14" force mains and appurtenances including 1,920 LF of 10" – 12" HDPE directional bores. The project includes mixing/odor control and electrical improvements at both pump station sites, as well as a radio telemetry/ SCADA system for monitoring and alarm communication for five (5) pump station sites.

4. Project Schedule, Approach & Familiarity

Testimonial

“Rivers has completed a vast array of complex projects for the City that encompass all of the facets of engineering. In every case, their work has been completed effectively, efficiently and in a most professional manner.”

Jordan Hughes, PE
City Engineer
City of New Bern



Sewer Main Point Repair Prior to Lining, Vanceboro, NC.

Project Schedule

In order to keep the total project costs within the funds available, it is important that all parties (Owner, Engineer and Contractor) meet critical timelines. During planning and design of the project, Rivers will work closely with the appropriate personnel from the Town Staff and NCDENR to ensure appropriate input is received and project milestones are achieved in a timely manner. Likewise, during the construction phase of the project, Rivers personnel will coordinate implementation of the work with the Owner and Contractor to facilitate efforts by the Contractor for the project work to be completed within the established timeframe. Exact dates will vary based on authorization to proceed with the various phases of services. However, Rivers' Project team is prepared to begin immediately upon receipt of such authorization.

Anticipated Project Schedule:	
Submit ER/EID to NCDENR	2 Months
Receive ER/EID Approval	3 Months
Preliminary Design Phase (incl. surveys)	3 Months
Final Design Phase (incl. permit submittal):	3 Months
Regulatory Permit Acquisition & Advertise for Bids:	3 Months
Bid Period & Contract Award:	3 Months
Construction Phase:	10 Months
Close-out:	2 Months
Total	29 Months

Project Approach

A. General:

The project approach utilized by Rivers will be a collaborative effort between the staffs of Rivers and the Town of Winterville's Public Works Department. The process will include on-site meetings during initial information discovery to ensure that valuable input from the Owner is received. Telephone consultations and onsite meetings will continue as required through-out the engineering design process.

Rivers' Project Team is well qualified to provide professional

engineering design and construction administration / inspection services for the proposed sanitary sewer rehabilitation project for Winterville. Rivers has provided similar engineering services many times for numerous eastern North Carolina communities.

Most projects of this type require our staff to facilitate involvement of various stakeholders in the preliminary design process. We anticipate that will be the case for this project as well, specifically with respect to maintaining sewer operations during construction and implementing construction activities on congested NCDOT right-of-way (Main Street). Consultations will be held with Town staff, NCDOT representatives and NCDEQ early in the preliminary design

phase to affirm design and permitting requirements. Beyond that, Rivers' Team is very familiar with the technical, environmental, regulatory, financial and funding issues that must be considered to provide technically sound design documents to Winterville for implementation of rehabilitation construction.

Implementing a project of this nature will create short-term impacts on adjoining and/or "upstream" residents when work is progressing in their area.

The need for point repairs prior to pipeline lining activity will be verified by the liner manufacturer in a pre-video that will be required by specification. The engineer, owner, liner manufacturer and installer will all desire to mutually concur that liner installation may proceed without obstruction. In some cases, the engineer and owner will desire a point repair to be completed even though the manufacturer and installer believe it not to be required for liner installation. The final ruling on point repair will rest with the engineer and Owner.

During the case of point repairs, it will be necessary to implement by-pass pumping if there is significant flow from upstream of the segment to be repaired. Adjoining service laterals directly connected to the pipe to be repaired will be temporarily plugged during the repair and then reconnected to the repaired segment prior to backfilling of the excavation.

Service laterals connected to the sewer main directly upstream of the repair will be impeded by blocking the main where it is cut apart for repair. The actual cut and repair is typically completed in a matter of hours such that the interruption to service is minimal.

As the pipelines are actually being lined, the liner installation will block service at the wye connection to the sewer main. Once the lining operation has been completed and the pipeline is ready to be returned to service, holes will be cut through the liner at the service connection from the pipe interior, thus returning sewer service to the lateral connection. The replacement of the service laterals will involve installing a new lateral from the main line to the right-of-way line. Service lateral replacements within the public rights-of-way help to mitigate the movement of infiltration from one point of entry (e.g. the sewer main joints, etc.) to another (e.g. potential defective service connections, service pipe joints, etc.) of the service laterals. Lining of a typical 400-foot gravity sewer main segment can generally be accomplished in approximately 5 - 6 hours once the actual lining operation begins, therefore creating minimal service interruption.

Where pipelines are schedule for total replacement of a segment, the replacement will be designed as an "in-place" replacement, meaning the existing pipeline will be replaced in the same trench, at the same grade, at the same alignment, and with the same pipe size, as the existing pipeline. Where the need exists, bypass pumping from the most upstream manhole will maintain service to upstream users. Users within the segment to be replaced will be impacted similarly to those impacted by a point repair. Although several days or more may be required to completely replace a line segment, service is generally interrupted only for those users directly connected to the actual pipe footage being replaced on a given day. All individual service is restored at the end of each day.

Where manholes are scheduled to be replaced, bypass pumping operations will be employed as required to maintain service to the greatest extent possible and practical.

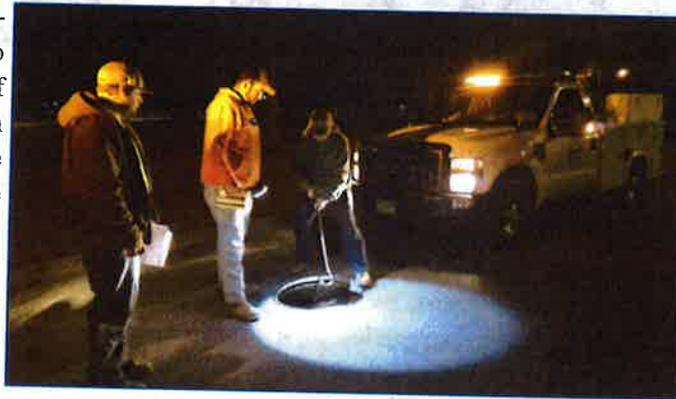
For all point repairs and pipe/manhole replacements, service is not actually interrupted until the excavation has been performed, and the pipe or manhole is ready to be cut and removed from the excavation. Replacement pipe or manholes are on-site, ready to be installed and connected to the system almost immediately after removal of existing components.

In every case where sewer service to adjacent users will be

interrupted, the contractor will be required to coordinate with the owner's representatives for notification of the users to be impacted. Typically, advanced notice would be provided one or two days prior to the interruption so that users may plan accordingly.

B. Project Scope:

The purpose of the project is to reduce inflow and infiltration through a combination of rehabilitation methods, including the following: line approximately 19,000 linear feet of 8-inch to 12-inch lines and complete approximately 3,800 LF of point repairs and pipe replacement. The project also proposes to replace or rehab service laterals from the sewer mains to the public right-of-way /private property boundary. At the time of lining, a full-sized "cut-out" of the liner will be made at each existing service lateral to facilitate service flows into the sewer main, until an insertion tee can be installed and the lateral can be replaced. The project area is scattered throughout town, but the highest area of concentration for project work is located in Sub-Basin 1, in the older section of the sewer system.



Nocturnal Flow Monitoring, Winterville, NC

C. Basic Scope of Engineering/Inspection Services:

Services to be implemented for the project in accordance with the Owner's Request for Qualifications include:

1. **Preliminary Engineering Services:**
 - a. Develop Engineering Report and Environmental Information Document (ER/EID) utilizing NCDENR/DWI required template.
 - b. Assist City in obtaining NCDENR/DWI approval of ER/EID.
2. **Design Engineering Services:**
 - a. Perform required corridor and site surveys including topographic, boundary and utility coordination as required.
 - b. Prepare construction documents, including drawings and technical specifications.
 - c. Prepare contract documents.
 - d. Arrange and coordinate any required soil borings.
 - e. Update cost opinion.
 - f. Prepare required permitting applications anticipated to include only DOT Encroachment Permit.
 - g. Assist Town with response to questions/comments and revisions to plans/specifications required for acquisition of permit(s).
3. **Bidding & Construction Services:**
 - a. Assist Town with advertisement of the project for solicitation of bids.
 - b. Attend & moderate pre-bid conference.
 - c. Issue addenda as appropriate.
 - d. Conduct bid opening.
 - e. Evaluate bids received and make recommendation for construction contract award.
 - f. Provide assistance in award of construction contract.
 - g. Conduct preconstruction conference.
 - h. Provide routine construction contract administration.
 - i. Review compliance with Davis-Bacon Act and conduct interviews with workers.
 - j. Conduct shop drawing review.
 - k. Perform at least monthly site visits to observe progress and quality of the work.
 - l. Provide determinations of whether the work is in substantial accordance with the contract documents, plans and specifications.
 - m. Provide interpretation of the contract documents, plans and specifications.
 - n. Develop and process construction contract

- change orders and work change directives.
- o. Review and process contractor's applications for payment.
- p. Conduct Final Inspections to insure compliance with contract documents, plans and specifications.
- q. Provide written approval of final payments to contractors.
- r. Furnish reproducible record drawings and CAD Files in AutoCad format.
- s. Provide engineering supervision of Resident Project Representative.
- t. Provide full-time Resident Project Representative.

D. Permitting:

Based on our knowledge of the project, the area of potential land-disturbing activities will be relatively low and may not require erosion control permits. However, final design and disturbance requirements will dictate the necessity for erosion control and stormwater permits from NCDEQ-DWQ. Appropriate erosion control measures will be designed for the project, regardless of permitting jurisdiction.

Permits may be required from NCDEQ-PWS associated with replacement of existing sewer mains where water mains may be in close proximity to the sewer work and thus require relocation or replacement of water main with ferrous material.

Lining of existing sewer mains is considered a maintenance activity by NCDEQ-DWQ. Replacement of existing sewer mains in the same trench at the same grades and alignments are "deemed permitted". However, with funding provided by the NCDEQ-DWI Clean Water State Revolving Loan (SRF) program, a review process is required for plan approval prior to construction.

Encroachment agreements may be required from NCDOT where excavation activity for sewer point repairs, and service reconnects is required on NCDOT right-of-way. Meeting with NCDOT representatives during the design development phase will determine whether or not such work will be deemed maintenance, and thus not requiring an encroachment, or if an encroachment will be required.

In all regulatory permit applications, paying supplemental application fees for "express review" (where available) will expedite the project permitting process.

Proximity to Project Site

Rivers prides itself on the fact that 80% of our business is repeat business from long standing clients. This yields long-standing relationships based upon mutual faith and trust.

Our primary target market area is all of eastern North Caroli-



na encompassing up to a three-hour travel radius. As such, we have completed project assignments within counties literally from the South Carolina state line to the Virginia state line.

Rivers' Project Team members for the Winterville Sanitary Sewer Rehabilitation Project are all based in our Greenville, NC office, within a ten-mile drive to Winterville and the project site. Therefore, we are easily accessible to not only the project, but to Town staff as well.

Geographic Familiarity

Due to our vast experience with similar projects throughout eastern North Carolina, Rivers brings a thorough understanding of the geophysical characteristics of the area, allowing us to anticipate conditions that potentially impact construction. We are then able to optimize planning and design to mitigate those circumstances.

Located in eastern North Carolina since 1918, and having designed projects throughout the region, Rivers' staff maintains strong relationships with State and Federal funding and regulatory agency personnel assigned to the eastern region of the state, including USDA, NCDENR, NCDOT, USAC-OE, etc. We are accustomed to working with these individuals to identify project strategies to achieve funding and regulatory requirements while assisting our client meet project goals in a cost-effective manner.

Working with multiple local government clients throughout eastern North Carolina, including the Town of Winterville, and other municipalities and counties, Rivers' staff have the familiarity of working with numerous utility construction contractors that typically provide services in our geographical region. This familiarity facilitates a positive working relationship with contractors, who recognize and generally appreciate Rivers' intention to fairly and equitably advocate for our client to receive the product which has been specified, bid and contracted. As a result, Rivers' staff regularly consults with these contractors during project design as to their opinion concerning the best practice methodology with which to accomplish certain construction tasks.

System Familiarity

Rivers' team have planned, assisted with funding acquisition, engineered and provide construction phase services for many public utility infrastructure projects, including performance of sewer system evaluation surveys, sewer rehabilitation or sewer replacement projects throughout eastern North Carolina.

In conjunction with Town of Winterville staff, Rivers' team completed the most recent Sewer System Evaluation Survey of the Winterville sanitary sewer system, the basis for the proposed project. That information, along with other infor-

mation, was utilized to prepare a new Wastewater Asset Management Plan (WWAMP) for the Town of Winterville. As part of the WWAMP tasks, an updated Capital Improvements Plan for the sanitary sewer system was prepared in collaboration with Town staff.

Rivers also assisted the Town secure funding to assist with costs associated with the project now proposed for rehabilitation. As such, our team is very familiar with the specific issues defined by those previous efforts for which this project is to address.

5. Hourly Rates of Personnel

“Rivers did a really great job listening to the constituents’ needs and designing a Plan that can be implemented by the Town.”

Kyle Garner
Town Planner
Town of Beaufort



Reconnection of Service Lateral to Lined Sewer Main, Roanoke Rapids, NC

EMPLOYEE CLASSIFICATION	HOURLY RATES	EMPLOYEE CLASSIFICATION	HOURLY RATES
Principal	\$165.00	Project Engineer II	\$120.00
Sr. Project Manager II	\$165.00	Project Engineer I	\$105.00
Sr. Project Manager I	\$155.00	Design Engineer II	\$95.00
Project Manager II	\$140.00	Design Engineer I	\$85.00
Project Manager I	\$130.00	Designer IV	\$115.00
Sr. Landscape Architect	\$125.00	Designer III	\$105.00
Landscape Architect	\$100.00	Designer II	\$90.00
Landscape Designer	\$90.00	Designer I	\$75.00
Project Planner I	\$90.00	CAD Technician III	\$70.00
Planner II	\$80.00	CAD Technician II	\$65.00
Planner I	\$70.00	CAD Technician I	\$60.00
Resident Project Rep. IV	\$90.00	Project Surveyor II	\$105.00
Resident Project Rep. III	\$80.00	Project Surveyor I	\$90.00
Resident Project Rep. II	\$70.00	Party Chief III	\$80.00
Resident Project Rep. I	\$60.00	Party Chief II	\$60.00
Intern Tech	\$35.00	Party Chief I	\$55.00
Administrative Assistant	\$65.00	Surveyor Technician II	\$50.00
Sub-Consultants & Fees	1.15 x Cost	Surveyor Technician I	\$45.00
Miscellaneous Expenses	Cost	1-Man Robotic II	\$135.00
		1-Man Robotic I	\$100.00

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6. Professional References

Rivers' Client Base Consists of:

- Municipalities
- Counties
- Sanitary Districts
- Water & Sewer Districts
- Water Authorities
- Non-Profit Corporations
- State Government
- Industry
- Private Institutions
- Private Developers



Sewer Manhole Replacement, Richlands, NC

Mr. Donovan Willis
Public Utilities Director
Town of Beaufort, NC
(252) 723-0153

Mr. Kevin Brickhouse
Public Works Director
Town of Chocowinity, NC
(252) 946-6568

Mr. David Tawes
Public Utilities Director
Chowan County, NC
(252) 473-8942

Mr. Barry Sutton
Manager
Eastern Pines Regional Water Corp.
(252) 752-7420

Mr. Frank Bottorff
City Manager
City of Havelock, NC
(252) 444-6400

Ms. Kim Rineer, PE
Engineering Manager
Johnston County, NC
(919) 989-5725

Mr. Jordan Hughes, PE
City Engineer
City of New Bern, NC
(252) 639-7527

Mr. Tim Buck
County Manager
Pamlico County, NC
(252) 745-3133

Mr. John Kirkland
Mayor
Town of River Bend, NC
(252) 259-8033

Mr. Bruce Bland
Manager
Stokes Regional Water Corporation
(252) 757-7751

Mr. Vernon Edwards
Public Works Director
Town of Vanceboro, NC
(252) 229-0878

Mr. Macon Robertson
Public Works Director
Warren County, NC
(252) 257-3645

Mr. Adam Waters
Public Works Director
City of Washington, NC
(252) 975-9310

Mr. Kerry Spivey
Public Works Director
Town of Williamston, NC
(252) 792-1024

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7. Other Relevant Information

Responsiveness to Client Needs

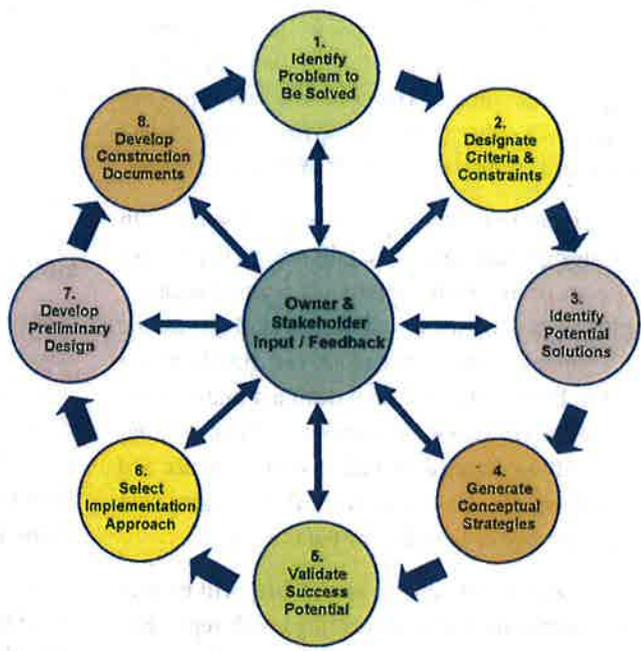
Quality Control & Assurance Through Communication

Cost Control

Project Schedule Maintenance

Protection Against Defects / Deficiencies

**Rivers and Associates
Planning & Design Process**



Responsiveness to Client Needs

Rivers attributes much of our success to our firm's overall approach to project and client management. We consider ourselves an extension of our client's staff. Our staff strives to understand the special needs and goals of each individual client by developing strong relationships within each organization.

Our project management philosophy incorporates the establishment of the needs of the client at the pinnacle of our priorities. Listening to the client is the key to understanding his needs. Our project management plan facilitates a practical approach that blends conservative yet progressive concepts with creative initiatives. We utilize this philosophy for planning and design of our projects, and will apply these principles in the development of the Town of Winterville's Sanitary Sewer Rehabilitation project.

Quality Control & Assurance Through Communication

Internal quality control and assurance will be through Rivers' standard practice of peer review and discussion. Each project includes a work plan to outline the required tasks, responsible party, sequence and schedule for achieving successful completion. The Project Manager is responsible for ensuring that team members complete their assigned tasks in a timely manner. Project teams meet at least weekly (more often as neces-

sary) to review the progress of the project, obstacles encountered, resolutions required, as well as progressive tasks next to be implemented. This is done to ensure that research, analysis, computations, design and production of deliverable documents proceed as smoothly and efficiently as possible toward project completion. Additionally, meetings and periodic review of sub-consultants' work is performed by qualified Rivers' staff to ensure understanding and compatibility with project goals. Should additional resources be required to maintain a project's progress, the Project Manager will identify this requirement during those weekly meetings and make necessary priority adjustments and/or acquire additional resources with which to otherwise overcome the obstacle.

Internal peer review is utilized to ensure quality control for computations, design, and preparation of project documents. Registered Engineers will directly supervise all work produced as well as review and seal the completed product.

External agency review helps to ensure suitability for implementation. One method of external quality control and assurance will be accomplished by consistent communication and meetings with the Town's Public Works Director and other Public Works/Utility representatives. Owner input will be routinely requested from the conception of project scope through completion of the project. Owner participation in the design process and concurrence with final recommendations is vital to the success of the project.

Rivers approach to planning, design and construction admin-



istration includes involving appropriate members of the Owner's staff in the project as much as the Owner is willing to allow and participate. Ultimately, the Public Works staff are the individuals who will routinely operate and maintain the new facilities while the Town Manager and Finance Officer will work with the Public Works Director in the implementation and finance plans for construction as well as annual O&M budgeting considerations. Those individuals' opinions of the final product will either positively or negatively impact River's reputation with Winterville and all of North Carolina.

As such, we covet the Owner's opinion or preference with regard to certain design decisions. We will advise the Owner of the pros and cons of available options. If we feel strongly that a given solution is superior to others, we will advise the Owner of that. However, many decisions are simply based on preference. We believe that the final design should reflect the Owner's preferences whenever practical. Also, maintenance personnel will be attuned to O&M requirements and costs that may impact the plan, and can offer insights into potential cost savings and/or benefits for the Owner.

Additional external agency review, as applicable, will be provided by routine communication and meetings with representatives of regulatory agencies that will be requested to issue appropriate environmental/regulatory permits for project development. Such input during the course of preliminary design helps to ensure suitability for implementation and expedite the permitting process once formal applications for plan approval and authorization to construct are submitted.

Cost Control

Rivers and the Town of Winterville are mutually interested in completing projects within budget. The best tools for accomplishing this goal are sound cost estimation, clear communication, a well-defined scope of work, and clearly defined lines of responsibility between the Owner, Contractor and Engineer.

Rivers has developed proven methodologies and a good track record for estimating the cost of work. The first step in controlling the project budget is to prepare a sound proposed budget in relation to the proposed project. As implementation of the project evolves into design development phases, a design development memo will include our comments as to the adequacy of the original project budget and recommendations, if necessary, for means of overcoming obstacles, decreasing the construction cost or the need for an increase in the project funding to achieve the Town's project goals.

Throughout the design development process, maintaining a detailed takeoff of construction items and updating costs as necessary are key steps to providing a reliable cost opinion. The Town will be notified at any time that the cost opinion for the project exceeds the funding. Prior to bidding, a final

construction cost opinion will be prepared for presentation to the Town as part of the final design memo.

In order to obtain competitive bids, we strive to provide our clients with clear, concise, correct and well coordinated Construction Documents. Well prepared project documents are the best tool for obtaining a competitive and fair bid price.

We utilize bid tabulation data maintained for all our projects as a cost estimating tool. Additionally, we maintain good working relationships with material suppliers, contractors and equipment manufacturers' representatives. These resources are utilized as necessary to prepare construction and project cost estimates.

Rivers makes a concerted effort to include the Owner in the design and decision-making process. Each design element has associated benefits and costs. The Owner's preference has a direct impact on the ultimate project cost. Occasionally, alternative bid items are included for specific items of equipment. This provides additional choices to the Owner that contribute to the final construction/project cost.

It should be noted, that while we make every effort to provide reliable construction cost opinions, the consultant cannot assure that the project budget will not be exceeded in the final public bidding process as external factors can create uncontrollable influences.

In order to control the scheduling and cost of engineering, Rivers has assembled an experienced and technically qualified team that will perform their responsibilities in a timely and efficient manner. Our understanding of the technical needs and permitting process will afford the Town the most cost-effective solution to the project.

To avoid escalation of the cost of the work, the Owner and Engineer need to share and understand each other's mutual expectations, establish a clearly defined scope of work, and designate a single point of contact for communications. Each party should encourage open and frequent communication with expedient responses or decisions to inquiries or requests for information.

Project Schedule Maintenance

In addition to a well-defined budget, each project should include a mutually agreeable schedule. Project status should be regularly checked against the schedule to determine whether the progress is acceptable or whether additional resources are required to complete the work on time.

For most projects, periodic design review meeting are scheduled with the Owner at which project status is discussed among other items. This provides an opportunity for the Owner to stay informed of the progress to date, and offer input into whether adjustments are required.

During weekly team meetings (more frequently as required) schedule is reviewed to ensure that sufficient progress is being made and that potential delays are addressed expeditiously.

In order to control the timeframe for performance of the work, Rivers will propose a reasonable schedule for each project, and will provide sufficient staff to complete the work within the established timeframe. Supplemental staff can be made available as needed.

Protection Against Defects / Deficiencies

One of the principal roles of the Designer is to ensure that the end product performs as intended. Numerous opportunities exist for circumstances, events, misunderstandings or mistakes to jeopardize the performance of the completed work. The following steps are integrated into Rivers' procedures to minimize defects and deficiencies during construction of the project:

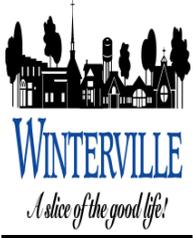
- Ensure clear understanding by Owner and Engineer of the project goals and operations requirements/

performance of all specified materials and equipment.

- Clearly define and document project and performance requirements during the preparation of plans and specifications to assist Contractor and Supplier understanding.
- Confirm that any proposed "substitute" or "or equal" items meet plan and specification requirements.
- Carefully review shop drawing submittals for acceptability.
- Provide well-qualified construction administrative staff with extensive experience in work of the type being performed.
- Confirm acceptable construction in substantial accordance with contract documents.
- Confirm contract requirements for warranty, certifications, etc. are fulfilled.



Installation of CIPP Sewer Liner, Williamston, NC



**Town of Winterville
Town Council
Agenda Abstract**

Item Section: Old Business

Meeting Date: October 8, 2018

Presenter: Travis Welborn, Public Works Director

Item to be Considered

Subject: Purchase of Vac Con V311E/1300LHAQDA Titan Model Sewer Truck.

Action Requested: Approve Purchase of Truck via NC Sheriffs Association Purchasing Cooperative.

Attachments: Southern Vac Quote.

Prepared By: Travis Welborn, Public Works Director

Date: 10/2/2018

ABSTRACT ROUTING:

TC

FD

TM 10/2/2018

Final 10/2/2018

Supporting Documentation

The 2018/2019 Sanitary Sewer Fund Budget allocated monies for the purchase of a new Vac Truck. Staff received a quote of \$368,810.59 for the requested sewer truck from Southern Vac. The quote was secured using the purchasing cooperative, NC Sheriffs' Association, rather than the State Purchasing Contract. The vendor supplying the quote, Southern Vac was awarded the sales contract through the NC Sheriff's Association's competitive bidding process. Similar to the award of State Purchasing contracts, Southern Vac's contract was only received after the NC Sheriffs' Association performed a thorough vetting process of several vendors. This process is similar to the state contract process but is performed for national scale purchases versus State level.

Budgetary Impact: The FYE 19 Budget allocated \$380,000.00 for the purchase of a Vac Truck. The quote of \$368,810.59 is \$11,189.41 below the projected and council approved amount. This reduction is due in part to the ability of the purchasing cooperative to award national level contracts versus state level.

Recommendation: Approval to purchase Vac Con V311E/1300LHAQDA Titan Model Sewer Truck.



PO Box 1854
Lexington, SC 29071
Phone (803) 358-0221, (888) 856-3556
Fax (803) 358-0431

North Carolina Sheriffs
Association:
Heavy Equipment Bid:
19-03-0504



June 18, 2018

Town of Winterville
Attn: Travis Welborn
2571 Railroad Street
Winterville, NC 28590

Mr. Travis Welborn,

Southern Vac is pleased to offer the ***Town of Winterville*** the following quote on a ***Vac Con V311E/1300LHAQDA Titan Model Truck under NCSA Heavy Equipment Contract 19-03-0504***. Thank you for your consideration. If you have any questions regarding this quote, I can be reached at (910)406-4308.

Regards,

Gary Yoder



Town of Winterville – Vac Con Titan Model V311E/1300LHAQDA

Model Number - V 311E/1300 L H AQD A

Standard Equipment Includes:

3-stage Aeroboost Centrifugal Compressor - high efficiency airflow design w/dual cyclone filtration

Upgrade ball valves 1¼" plumbing + heavy duty ball valves

Swivel upgrade 1-¼" rotary union

10' telescopic boom

Flat style rear door w/ 4 wedge style locks & dual hydraulic open/ close cylinders to 90 Degree

Segmented heavy-duty wear back elbow

Electronic water-level gauge w/indicator light

Stainless Steel float & debris level indicator

3-stage blower centrifugal compressor quite package

Flushout- Debris body power flushout

Omnibus w/precision power

Hinge type / Body Prop Permanently mount debris body prop (hinge-type)

Splash shield

Main frame deck coating

Wireless remote

2½" valve drain with ¼ - turn ball valve

Lazy Susan pipe rack (5-pipe)

Rear bumper assembly w/storage

Vacuum System (as specified by Model Number)

Vacuum Drive: hydrostatic drive "high volume"

1/4" Corten steel debris tank

Hydraulic rear door locks

6" knife valve with 10' lay flat hose

Debris tank dumping: minimum 50 degree, hydraulic scissors lift- power up/power down

Cross-linked polyethylene water tanks

Automatic vacuum breaker and overflow protection

8" vacuum intake hose

Pivoting boom travel tie down

6 Way hydraulic boom with 230 degree rotation and joystick control

Front mounted 600' capacity articulating hose reel

60gpm/2000psi water pump system

Water pump drive: Standard Aux Engine GM gasoline powered

400' high pressure jet rodder hose

Heavy-duty dual roller level wind guide (aluminum)

Flexible hose guide (Tiger Tail)

30" leader hose

20gpm/800psi wash-down system w/hand-gun and 25' of hose

Sealed and locking aluminum tool box (es) {as indicated by model number}

1 each sanitary and penetrator nozzles

25' aluminum intake(1'-3', 2'-5', 1'-6' and 1'-6.5' nozzles) w/ locking quick clamps

ICC lighting LED

Zinc, PPG Paint - line on process. "Aircraft-grade" primer

12 month standard warranty for module

5# Fire Extinguisher

Set Triangles

5 year centrifugal compressor (fans) warranty

- 2 year water pump warranty
- 5 year water pump drive warranty
- 5 year debris tank warranty
- 10 year water tank warranty
- Aluminum Storage Box Behind Cab 16" x 42" x 96"

Main Information

Model	311E/1300
Blower	AQD Fan Drive for Titan
Boom	10' x 8" Aluminum Telescoping Boom with Pendant Control Station
Hose Reel	Front Mounted, Articulating to Drivers Side, 600' (1") Capacity (Std Pivot)
Jet Rodder Hose	600' x 3/4" Jet Rodder Hose
Water System	50 gpm/3000 psi Pump
Auxiliary Engine	GM Power Solutions International (PSI) 5.7 Liter, (350 CID) (8)-Cylinder, 140HP @ 3000 RPM - STANDARD

Debris Body Options

Qty Description

- 1 Rear, Hydraulic Pump Off System, 575 GPM w/20' lay flat Hose

Water System Options

Qty Description

- 1 50' Capacity Retractable Hand Gun Hose Reel
- 1 Air Purge System
- 1 Hydroexcavation package includes: 50' retractable handgun hose reel with 50' of 1/2" high pressure hose, HP/Quick disconnect, heavy duty HP unloader valve, main control ball valve, 72x1/2 Sch. 80 Lance w/ Quick Dcn., Sngl. Fwd. Spray Nozzle, Horiz. Hand.
- 1 Water Pump Remote Oil Drain
- 1 Winter Recirculating System for Rodder Hose

Misc Machine Options

Qty Description

- 1 Auxiliary Engine Remote Oil Drain
- 1 Cone Storage Rack
- 1 Cone Storage Rack Placement - Best Location Curbside
- 1 Rear Mounted Tow Hooks
- 1 Remote Boom Grease Zerk Assembly (Ground Level - includes water pump drive) - If Applicable

Lighting Options

Qty Description

- 1 Hand Held Spot Light - LED
- 1 LED 4 Strobes - (2) front bumper / (2) rear bumper - Whelen 50A03ZCR - Amber
- 1 LED Arrow Board, Rear Debris Tank Door Mounted - Whelen TA1251NF1 Traffic Arrow
- 1 LED Boom Mounted Flood Lights with Limb Guard - Whelen NP6BB Worklight
- 1 LED Flood Light - Auxiliary Engine/Driver's Side Area - Whelen NP6BB Worklight
- 1 LED Rear Mounted Flood Lights with Limb Guard - Whelen NP6BB Worklight
- 1 LED strobe with Limb Guard, Rear Debris Tank Mounted - Whelen L21HAP LED Beacon with Whelen BGH Branch Guard
- 1 Mirror Mounted LED Beacon/Strobe Light with Limb Guard - Whelen L21HAP LED Beacon with Whelen BGH Branch Guard

Electrical Options

Qty Description

- 1 Front Hose Reel Camera Placement - To View in Front of Hose Reel Area
- 1 Rear Camera Placement
- 1 Traffic Camera With Color Monitor

Water System Accessories

Qty Description

- 1 711-30904 Hydro. X Lance Assy. - Must Choose Hydro X. Package - 72" with quick disconnects, 1/2 schedule 80, horizontal handle
- 2 711-TBA 72" Extension for 711-30904 high-pressure handwand

Leader Hose

Qty Description

- 1 3/4" x 10' Length Leader Hose

Tool/Storage Boxes

Qty Description

- 1 2) 24" x 18" x 18" Aluminum Rear Tool Boxes, mtd each side of extended frame units, 1000 or 1300 gallons only
- 1 Side Mounted Tool Box 35" x 14" x 24"

Vacuum Tubing

Qty Description

- 2 5' x 8" Aluminum Pipe Extension
- 1 6' x 8" Aluminum Pipe Extension
- 3 8" Quick Clamp, spare, 680-0015

Paint

Qty Description

- 1 Paint: To be advised

Truck Chassis Information

Pool Truck Chassis Model **Freightliner 114SD 6x4 66000GVWR ISL370 3000RDS** *Pool Trucks are subject to availability.*

Key

Yellow Highlights are for the Base Package under NCSA
Blue Highlights are for the Attachments/Accessories under NCSA Contract

NCSA Base Module Price: \$257,098.00

NCSA 5% Module Discount Price: \$244,243.10

NCSA Chassis Price: \$98,100.00

NCSA Base Accessories Price: \$28,156.90

NCSA 6% Accessories Discount Price: \$26,467.49

NCSA Total Price: \$368,810.59

*****SALES TAX AND FEES NOT INCLUDED IN TOTAL PRICE*****





**Town of Winterville
Town Council
Agenda Abstract**

Item Section: New Business

Meeting Date: October 8, 2018

Presenter: Travis Welborn, Public Works
Director

Item to be Considered

Subject: Request from Bill Clark Homes for Roll Curb in the Eli's Ridge Subdivision.

Action Requested: Council Direction on Request.

Attachments: Request from Bill Clark; Excerpt from City of Greenville Design Manual Regarding Roll Curb Detail & Standard Curb Detail.

Prepared By: Travis Welborn, Public Works Director

Date: 10/1/2018

ABSTRACT ROUTING:

TC _____

FD _____

TM 10/2/2018

Final 10/2/2018

Supporting Documentation

The Developer for Eli's Ridge Subdivision (Bill Clark Homes) has requested that the Town allow Roll Type curb and gutter as opposed to standard curb and gutter (which is currently what the Town allows). Attached are the City of Greenville Standard Details which depict the two (2) different types of curb for comparison. The main difference is that standard curb has a more "vertical" curb head whereas the roll curb has a "rolled" curb head. The roll type curb is also approximately 2" shorter (10" thick at the back of curb) than the standard curb and gutter which is 12" thick at the back of curb.

Roll type curb does not have to be removed or modified by the home builder to install a driveway whereas the standard type curb must be cut and removed to install a driveway. Roll curb must include a transition back to standard type curb at each catch basin and Staff would recommend that the minimum street grade be increased to 0.5% for streets with roll curb if approved. Also, if roll type curb were approved Staff would recommend an added condition that maximum depth of runoff in the curb be reduced such that water would not back up over the back of curb (4"). This would likely require the Developer to install extra catch basins.

Budgetary Impact: TBD.

Recommendation: Council Direction on Request.

Terri Parker

From: Richie Brown <rbrown@stroudengineer.com>
Sent: Wednesday, September 26, 2018 11:58 AM
To: Terri Parker
Cc: Travis Welborn; Ben Williams; Landon Weaver
Subject: Eli's Ridge

Follow Up Flag: Follow up
Flag Status: Completed

Good Morning Terri,

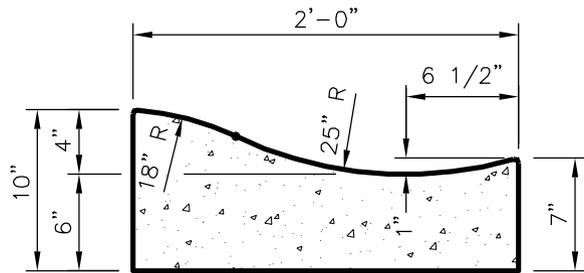
Bill Clark Homes would like to request if the Town of Winterville would consider allowing the use of "Roll Type" curb and gutter on this project as opposed to Standard curb and gutter?

Since the Roll Type can be incorporated into the individual driveways, instead of having to be cut out like the standard curb and gutter, we feel that this would make the development more attractive overall. With the number of lots within the development, there would be a lot of incurred cost associated with using the standard curb and gutter that wouldn't be necessary otherwise.

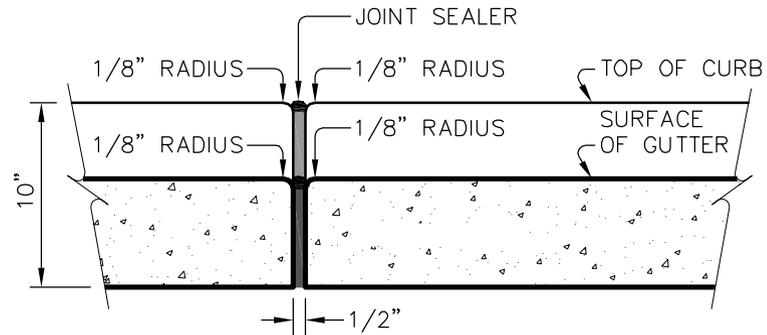
How could we go about getting this consideration?

Please let us know if we can be of any further assistance.

Thank you,
Richie Brown, PE
Senior Engineer
Stroud Engineering, P. A.
107-B Commerce Street
Greenville, NC 27858
252-756-9352 x232
[Click here](#) to upload files.



ROLL TYPE CURB AND GUTTER



**TRANSVERSE EXPANSION
JOINT IN CURB AND GUTTER**

NOTES:

1. Contraction joints shall be placed at 10' intervals, except that 15' spacing may be used when a machine is used or when satisfactory support for the face form can be obtained without the use of templates at 10' intervals. Joint spacing may be altered by the engineer to prevent uncontrolled cracking.
2. Contraction joints may be installed by the use of templates or formed by other approved methods. Where such joints are not formed by templates, a minimum depth of 1 1/2" shall be obtained.
3. All contraction joints shall be filled with joint filler.
4. Expansion joints shall be spaced at 90' intervals, and adjacent to all rigid objects.
5. All curb and gutters are to be poured with class "A" concrete (3,000 PSI).
6. Flexible forms are to be used when radius is less than 200'.



PUBLIC WORKS DEPARTMENT
1500 Beatty Street
Greenville, North Carolina 27834

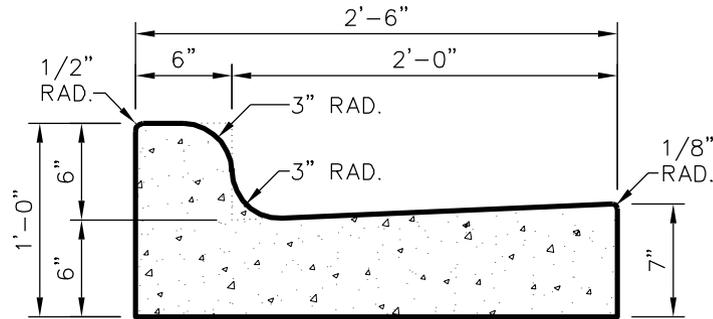
CITY OF GREENVILLE, N.C.
USE WITH THE CITY OF GREENVILLE, N.C. STANDARD SPECIFICATIONS ONLY

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No.	Date	Description
1	9/16/11	APPROVAL

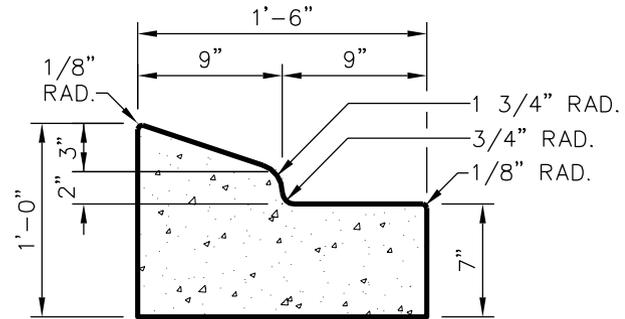
STANDARD ROLL-TYPE CURB AND GUTTER

Scale: not to scale	Sheet #: 1 of 1	Detail # 411.02
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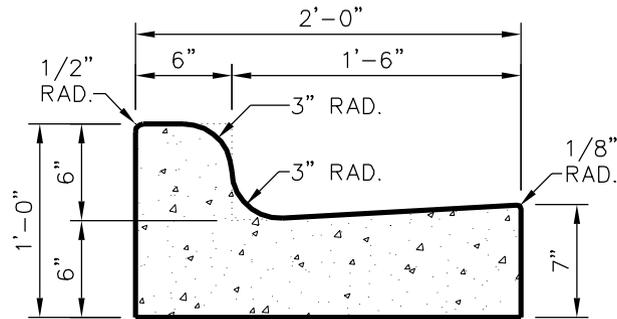
2'-6" CURB AND GUTTER

30" CURB AND GUTTER SHALL BE PLACED IN NCDOT R/W.



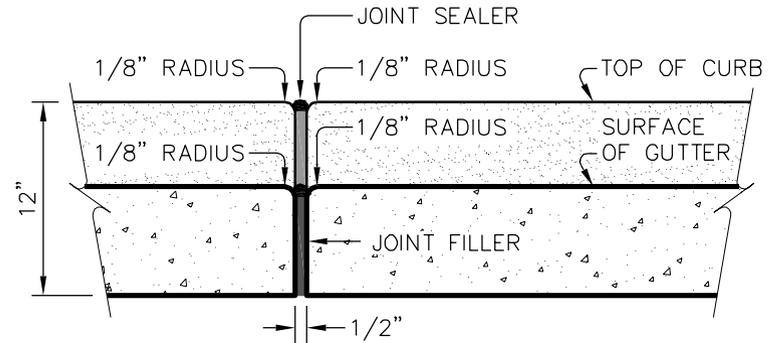
1'-6" CURB AND GUTTER

(TO BE USED IN MEDIANS ONLY)



2'-0" CURB AND GUTTER

24" CURB AND GUTTER SHALL BE PLACED IN RESIDENTIAL DEVELOPMENTS OR AS PROVIDED IN SEC. 490 OF THIS MANUAL.



TRANSVERSE EXPANSION JOINT IN CURB AND GUTTER

NOTES:

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1	9/16/11	APPROVAL
Scale: not to scale		Sheet #: 1 of 1
		Detail # 411.01

STANDARD CURB & GUTTER

SUMMARY OF STREET STANDARDS

<u>STREET CLASSIFICATIONS</u>	<u>CROSS SECTION</u>	<u>EASEMENT / ROW</u>	<u>PAVEMENT WIDTH (B/B)</u>	<u>AVERAGE DAILY TRAFFIC</u>
PRIVATE STREET	CURB	40' EASEMENT	24'	< 400
	DITCH	60' EASEMENT	20'	< 400
STANDARD RESIDENTIAL	CURB	50'	28'	< 1,500
	DITCH	60'	22'	< 1,500
COLLECTOR	CURB	60'	36'	1,500 - 3,500
	DITCH	70'	34'	1,500 - 3,500
PLANNED INDUSTRIAL	DITCH	80'	28'	N/A
MINOR THOROUGHFARE	CURB	80'	65'	5,000 - 10,000
MAJOR THOROUGHFARE	CURB	100'+	VARIABLE	10,000 +
	<u>STD. C&G</u>	<u>ROLL C&G</u>	<u>NON CURB & GUTTER</u> (outside urban core, single family only)	
MIN. LONGITUDINAL SLOPE	0.3%	0.5%	0.5% (channel flow line) 0.5% (street center line)	
MAX. DEPTH OF FLOW				
THOROUGHFARE	0.3 ft	N/A	N/A	
NON-THOROUGHFARE	0.5 ft	0.3 ft	2 ft	
MIN. DRIVEWAY CULVERT SIZE	N/A	N/A	15"	

NOTES:

- The minimum longitudinal grade for channel sections may be reduced for cross drainage and at some isolated locations with the approval of the City Engineer. The City Engineer shall have the option of requiring piping for channel's less than 0.8% slope.
- Minimum driveway separation along non-curb and gutter streets shall be 100 feet center to center as measured along the edge of pavement. A shared culvert configuration may be utilized pursuant to standards 422.01 thru 422.07, if the required spacing cannot be obtained.
- Driveways, along standard curb and gutter streets, shall conform to the Driveway Ordinance which requires removal of the complete section of the curb and gutter in lieu of breaking off the backs of curb.
- Driveway culvert sizes for each single family lot shall be determined at time of construction plan approval and shall be recorded on the final plat for each lot.
- The maximum 10-year storm headwater depth for driveway culverts shall not exceed 1.2D or the elevation of the driveway, whichever is less.
- All required channel linings and velocity control devices shall be designed and installed in accordance with the Soil Erosion and Sedimentation Control Ordinance and the North Carolina Erosion and Sediment Control Planning and Design Manual.
- Any street to be City-maintained shall have "Record Drawings" submitted and approved prior to scheduling of the pre-final street acceptance inspection. All "Record Drawings" for streets and storm drainage infrastructure shall include, but not necessarily limited to, the information as identified in the *Street and Storm Drainage "Record Drawings" Submittal Requirements*.



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No.	Date	Description
1	9/16/11	APPROVAL

Scale: not to scale	Sheet #: 1 of 1	Detail #: 410.01 154
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SUMMARY OF STREET STANDARDS